

PROPOSED CHANGE OF USE & TENANT IMPROVEMENT TO

JOYA'S CAFE

17475 PACIFIC COAST HIGHWAY
PACIFIC PALISADES, CALIFORNIA 90272

ABBREVIATIONS

@	AT	HDR.	HEADER
A.C.	AIR CONDITIONING	HDWD.	HARDWOOD
A.F.F.	ABOVE FINISH FLOOR	HORIZ.	HORIZONTAL
APPROX.	APPROXIMATE	HVAC	HEATING, VENTILATION & AIR CONDITIONING
BD.	BOARD	INFO.	INFORMATION
BDRM.	BEDROOM	INT.	INTERIOR
BLDG.	BUILDING	LAV.	LAVATORY
BLKG.	BLOCKING	LAV.	LAVATORY
BM.	BEAM	MAX.	MAXIMUM
BOT.	BOTTOM	MERCH.	MECHANICAL
B.U.R.	BUILT UP ROOF	MFR.	MANUFACTURER
CABT.	CABINET	MIN.	MINIMUM
C.J.	CEILING JOIST	MISC.	MISCELLANEOUS
CL	CENTERLINE	N.	NORTH
CLG.	CEILING	(N)	NEW
CLR.	CLEAR	N.I.C.	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NO.	NUMBER
COL.	COLUMN	N.T.S.	NOT TO SCALE
CONC./CT	CONCRETE	O/	OVER
CONST.	CONSTRUCTION	O.C.	ON CENTER
CONTR.	CONTRACTOR	PT	PAINT
CTR.	CENTER	PLBG.	PLUMBING
D	DRYER	PLY.	PLYWOOD
D.F.	DOUGLAS FIR	PREFAB.	PREFABRICATED
DIAG.	DIAGONAL	REF.	REFRIGERATOR
DIAM. / Ø	DIAMETER	REQD.	REQUIRED
DIM.	DIMENSION	RM.	ROOM
DN	DOWN	R.O.	ROUGH OPENING
DW	DISHWASHER	R.R.	ROOF RAFTER
DWG.	DRAWING	S.	SOUTH
E	EAST	S.F.	SQUARE FEET
(E)	EXISTING	SGL.	SINGLE
EA.	EACH	SIM.	SIMILAR
ELEC.	ELECTRICAL	STD.	STANDARD
ENGR.	ENGINEER	STL.	STEEL
EQPT.	EQUIPMENT	S. STL.	STAINLESS STEEL
EQ.	EQUAL	STRUCT.	STRUCTURAL
EXP. JT.	EXPANSION JOINT	TL	TILE
EXT.	EXTERIOR	T&G.	TONGUE AND GROOVE
F.A.U.	FORCED AIR UNIT	TYP.	TYPICAL
F.B.O.	FURNISHED BY OTHER	U.N.O.	UNLESS NOTED
FIN.	FINISH	OTHERWISE	OTHERWISE
F.J.	FLOOR JOIST	UTL.	UTILITY
F.O.F.	FACE OF FINISH	VRT.	VERTICAL
F.O.S.	FACE OF STRUCTURE	V.I.F.	VERIFY IN FIELD
FIN.	FINISH	W	WASHER
FLR.	FLOOR	W.	WEST
FRPL.	FIREPLACE	W/	WITH
FT.	FOOT	W.H.	WATER HEATER
FTG.	FOOTING	W/O	WITHOUT
GA.	GAUGE		
G.I.	GALVANIZED IRON		
GR.	GRADE		
GYP. BD.	GYPSON WALLBOARD		

DIRECTORY

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GEOTECHNICAL ENGINEER Geotech Engineer Name / Contact COMPANY Address Address t: 000-000-0000 f: 000-000-0000 e: address@sp.net	SURVEYOR Land Surveyor Name / Contact COMPANY Address Address t: 000-000-0000 f: 000-000-0000 e: address@sp.net

SYMBOLS

	KEY NOTE
	INDICATES PLANE PERPENDICULAR TO PLANE OF SECTION
	INDICATES PLANE PARALLEL TO PLANE OF SECTION
	DOOR SYMBOL
	WINDOW / FRENCH DOOR SYMBOL
	REVISION
	DATUM / WORK POINT
	SECTION SECTION DESIGNATION SHEET NUMBER
	DETAIL DETAIL DESIGNATION SHEET NUMBER INDICATES DIRECTION OF CUT
	INTERIOR ELEVATION ELEVATION DESIGNATION SHEET NUMBER

ANALYSIS

LOCATION:	17575 PACIFIC COAST HIGHWAY PACIFIC PALISADES, CA, 90272
MAILING ADDRESS:	17575 PACIFIC COAST HIGHWAY PACIFIC PALISADES, CA, 90272
OWNER:	CLIENT
A.P.N.:	4416012030
ZONE:	C2 - 1
TRACT:	TR 10631
LOT:	11
MAP REFERENCE:	M B 185 - 10/11
LOT AREA:	21,407.6 s.f.
OCCUPANCIES:	E - 2
USE:	COMMERCIAL/OFFICE
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLERS:	NO
STORIES:	1 STORY
HEIGHT:	33' MAX.
FRONT YARD SETBACK:	5'-0"
BUILDING AREA:	(E) FIRST FLOOR 5,376 (E) SECOND FLOOR 7,001 (E) TOTAL: 12,377
	PROPOSED ADDITION @ FIRST FLOOR 1,320 PROPOSED ADDITION @ SECOND FLOOR 567 PROPOSED ADDITION TOTAL: 1,887
	PROPOSED TOTAL AREA: 14,264
FLOOR AREA RATIO:	ALLOWABLE: 35% PROPOSED: 14,264 / 21,407.6 = 66% > 35%
LOT COVERAGE:	Allowable: 25% Proposed:
	(E) FIRST FLOOR: 5,376 PROPOSED FIRST FLOOR: 1,320 TOTAL FLOOR PLATE AREA: 6,696
	6,696 / 21,407.6 = 31% > 25%

PROJECT SUMMARY

ADDITION TO AND REMODEL OF EXISTING COMMERCIAL SPACE.
CHANGE OF USE FROM OFFICE SPACE TO HOSPITALITY.

CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES:

- 2017 LOS ANGELES MUNICIPAL CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN BUILDING CODE

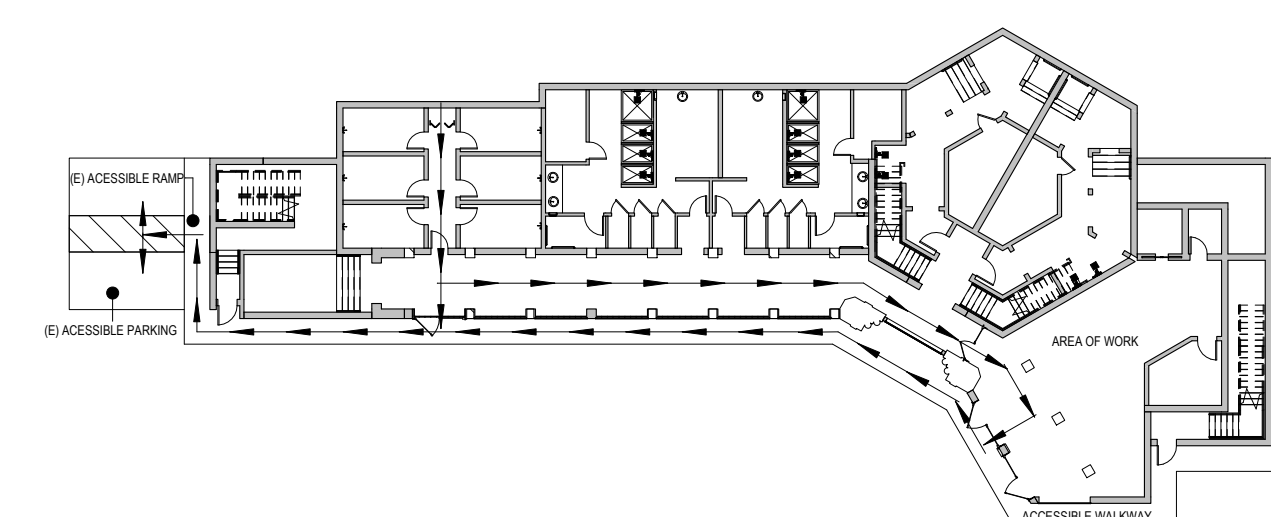
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VICINITY MAP

[N.T.S.]



ACCESSIBLE PATH OF TRAVEL

1" = 30'-0"

COVER SHEET

PROPOSED REMODEL OF JOYA'S CAFE TO:
HAUS- HOTEL AND SPA

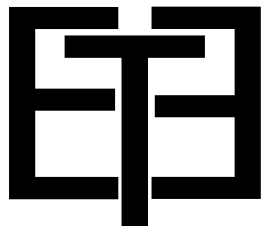
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: N.T.S.

DATE: 9.3.2019

SHEET #:

ID-0.0



STRUCTURAL

1. Provide structural observation. (Except for new SFD, accessory building or additions for SFD without basements, at where the adjacent grade is no steeper than 10:1 and using the conventional light wood frame construction standards with shear walls limits to 300#ft or uplift no greater than 300#).
2. "All bolt holes shall be drilled 1/32" to 1/16" oversized." 8.1.2.1,'91 NDS
3. 2x6 or 2x4 min. size studs at 16" o.c. required for first story bearing walls of three story building 91.2320.11.1, T 23
4. LA Licensed Fabricator is required for Glu-lam beams, trusses, or structural steel.
5. Glue Lam Beams must be fabricated in LA City Bldg. Dept. Licensed shop. Identify grade symbol and lamination species per T 5-A, '91 NDS Supp.
6. Welding to be done by welders certified by the Building Department for structural, reinforcing and light gage steel.
7. Provide double joists under parallel bearing partitions. 2320.8.5
8. Bearing wall studs cannot be notched more than 25% of their width. Bored holes cannot have a diameter greater than 40% of the stud width.
9. Lag Bolts: Provide lead hole 40%-70% of threaded shank dia. and full dia. for smooth shank portion. '91 NDS.
10. SHEAR WALLS AND DIAPHRAGM:

- All diaphragm and shear wall nailing shall utilize common nails or galvanized box. T 23-II-1-1

- The following applies to all shear walls with actual shear value greater than 300 pif and these walls shall be clearly identified on the plans:

- 1) Provide 3x sill plates for sills that rest on concrete or masonry;
- 2) Provide 3x studs between adjacent panels;
- 3) Provide 1/2" edge distance for plywood boundary nailing;

4) Stagger nails if nail spacing is less than 2" o.c.;

5) Square plate washers shall be used with all anchor bolts (Table 23-II-L); 5/8" bolt- 2.5x2.5x1/4, 3/4" bolt - 2.75x2.75x5/16, 7/8" bolt - 3x3x5/16, 1" bolt - 3.5x3.5x3/8.

- All Horizontal joints occurring in braced wall panels shall occur over blocking equal in size to the studding.

- Structural wood shear walls shall be covered with minimum two layers 15# felt underlayment prior to placing finish material.

- Stucco shear walls shall utilize self furring nails (min 11 ga., 1-1/2" long, 7/16" diameter head, galvanized furred a min. of 1/4") to attach the lath to the studs. Staples shall not be used.

- Plate washers are required for all hod downs. All hold down anchor nuts shall be tightened just prior to covering. All bolt holes shall be drilled a max. of 1/16" oversized AND "Inspector will verify at job site."

- Solid blocking shall be provided at all horizontal joints occurring in braced wall panels." 2320.11.3

SPECIAL HAZARDS

1. Class A roof covering is required for all buildings located in a Mountain Fire District or Fire Buffer Zone.
2. Roof obstructions such as television antennae, guy wires, solar panels, razor ribbon, fence, cable, or other obstructions shall not prevent Fire Department access or egress in the event of a fire. LAMC 57.12.02
3. Pre-fab fireplaces require manufacturer, model, and Underwriter Laboratories certification (or ICBO). Top of chimney must extend a minimum of 2' above any part of the building within 10'. 91.3102.3.6
4. Provide an approved spark arrester for the chimney of a fireplace, stove, or barbecue which uses fuel burning material. (L.A.M.C. 57.20.25)
5. Ann approved Seismic gas shutoff valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.
6. The indoor storage of combustible materials shall be regulated in relation to arrangement, location, size of areas, height, separations, and housekeeping. LAMC 57.57.03
7. Provide collision barriers adequate to protect control meters, regulators, and piping for hazardous material that are exposed to vehicular damage. LAMC 57.20.07

GRADING AND FOUNDATION

1. Obtain approval from Public Works and Grading Division of Building and Safety for grading work which exceeds 200 cubic yards during rainy season from Nov 1 to April 15 for Erosion Control at job site prior to construction.
2. A Registered Deputy Grading inspector is required on all grading and foundation earthwork in HILLSIDE or NON-HILLSIDE areas where site exceeds 60,000 square feet; cut or fill slope exceeds 2:1; cuts exceed 40 feet in height and within 20 feet of a property line; foundation excavation extend below 1' plane from property line; or projects involve unusual hazards.
3. A registered Deputy Grading Inspector is required on all shoring work, including the slot cuts, in the HILLSIDE or NON-HILLSIDE areas
4. FLOOD HAZARD AREA - If the lot is located in an area subject to flood.
 - A certificate of compliance must be filled out and submitted to the inspector certifying that the foundation was built at the required elevation. Flood Zone (A, AR, VI-30, AO (AF), A1-30 (FW)) requires clearance from the Dept. of Public Works, NFP Coordinator, (213) 847-5210
 - Survey by a licensed surveyor or CE is required to verify elevation of lowest finished floor.
 - Completed (Elevation/Flood Proofing) Certificate (attached) shall be given to the inspector. If misplaced, the certificate can be downloaded from the internet at <http://fema.gov/library/eflvinst.htm>

5. Provide rain gutters and convey rain water to the street. 7013.9

6. Pipe systems must have clean out access at:

- 1) every horizontal bend
- 2) every 50' for one or two family building sites or 100' for all others.

Provide clean out locations and detail on plans.

7. Maximum driveway slope shall not exceed 20% (Grade details and transitions slopes required where slope exceeds 12:12%. Maximum driveway cross slope is 10%. Maximum slope within parking area is 5%. 12.21A5(g).

8. If soil is found to be expansive, the footings must meet the following minimum requirements: 1804.4

- Depth of footings below the natural and finish grades shall not be less than 24" for exterior and 18" for interior footings.
- Exterior walls and interior bearing walls shall be supported on continuous footings.
- Footings shall be reinforced with minimum four 1/2-inch diameter deformed reinforcing bars. Two bars shall be placed 4" from the bottom of the footing and two bars within 4" of the top of the footings.
- The soil below an interior concrete slab shall be saturated with moisture to a depth of 18" prior to placing the concrete.
- Concrete floor slabs on grade shall be placed on a 4" fill of coarse aggregate or on a moisture barrier membrane. The slab shall be at least three and half inches thick and shall be reinforced with #4 rebars at 16" on center both directions.

9. Continuous inspection by deputy inspector is required for all concrete designed with f'c greater than 2500psi.

10. Concrete slabs on grade on expansive soil, compacted fill or slope over 1:10 shall be placed on a 4" fill of coarse aggregate or on a 2" sand bed covered moisture barrier membrane. The slabs shall be at least 3-1/2" thick and shall be reinforced with #4 bars spaced at intervals not exceeding 16" each way. 1804.4

11. All foundation sills shall be pressure treated, or foundation grade Redwood. 91.2306.4

12. Provide approved damp-proofing for all walls below grade that enclose habitable or non-habitable space. 91.1402.4

13. Under-floor ventilation shall not be less than 1/150 of under floor area and there shall be a minimum 18"x24" under floor access opening. 91.2306.3

14. A corrosion resistant weep screed is required below the stucco a minimum of 4" above earth or 2" above paved area. 91.2506.5

15. All Hold-downs shall be re-tightened just prior to covering the wall framing. 2315.5.6

FIRE PROTECTION NOTES

1. Draft stopping shall be provided:
 - Within a concealed floor - ceiling assembly formed of combustible construction (1000 sq.ft. & 60' max. between draft stops) 91.708.3.1.1.1.
 - Attics, mansards, overhangs and similar concealed spaces formed of combustible construction. 91.708.3.1.2 (3000 sq ft & 60' max.)
 - Above and in line with walls separating tenant spaces from each other and from other uses. 91.708.3
2. Unprotected openings are prohibited in envelope protection type (rated) ceilings. All duct openings require fire dampers and are limited in area to 100 square inches in any 100 square foot ceiling. Access openings require one hour fire rated assemblies with closing devices approved by the Department. 91.710.2
3. Smoke detectors shall be provided as follows: 91.310.91.3.4
 - In new construction smoke detectors shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement
 - In existing construction smoke detectors may be battery operated, installed in location as specified
 - Provide smoke detectors at the top of common stairwells serving two or more tenants (Health and Safety Code 13113.7)
4. Sprinkler System if required, to be approved by Plumbing division of the Building Department prior to installation.

POOL / SPA

1. Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max) for a single opening. The deactivation switch shall be at least 54" above the floor.* OR a self closing and self-latching fence min. 5'-0" above ground enclosing pool area with latch at fence (4" max opening between rails).

GENERAL NOTES

1. American Institute of Architects Document #A201, "General Conditions of the Contract for Construction," shall govern the work of this contract, with the word Designer substituted for the word Architect, except in so far as prohibitable by law.
2. All required permits and licenses shall be obtained and paid for by the Contractor.
3. At the time of bid submittal, the Contractor shall advise Designer in writing, of any specified materials or equipment which are either unavailable or will cause a delay to the completion of construction.
4. Immediately after being awarded the contract, the Contractor shall submit a construction schedule which shall be continuously updated and posted on the job at all times.
5. The Contractor shall verify required locations and include in base bid all related costs for all necessary access panels (in partitions, floors or ceilings). The Contractor shall coordinate with Designer before installation.
6. All existing partitions, floors and ceilings shall be patched or repaired as required by the Contractor. Patched and repaired surfaces shall be equal to new. The Contractor shall advise Designer of any existing construction which is not level and plumb (within industry standards) before start of construction.
7. The Contractor shall be responsible for providing temporary utilities (power, lighting, water and rest room facilities) to the job site for use by all construction trades, including those not a subcontractor to the General Contractor.
8. The Contractor shall note that there shall be no substitutions for any material where specific manufacturers are specified. Where approved equal is used, it shall be understood that the substitute shall be by judgment and approval of Designer, and all requests shall be made prior to installation. Contractor shall submit three (3) sets of manufacturer's cut sheets of samples and/or one (1) reproducible original of drawings for all requested substitutions of materials, hardware, millwork, glass partitions, ceiling systems, plumbing fixtures, etc. to Designer for approval.

When substitutions of the specified materials are requested to be made by the contractor (whether as an "approved equal" or not) the contractor shall be responsible for all expenses incurred by Designer in reviewing, researching, approving and coordinating requested substitutions.

9. Manufacturers of materials, other than those specified on these plans, shall meet the specific requirements of governing agencies having jurisdiction over this project.

10. General Contractor shall be responsible for verification and approvals of substituted materials as requested by governing agencies.

11. It shall be the responsibility of the General Contractor to distribute adequate copies of all drawings to all trades falling under their responsibility at all times during the progress of the job (i.e. revisions) on a timely basis.

12. Upon completion of the job, the General Contractor shall submit certificates of inspection of satisfactory completion.

13. Contractor shall be responsible for providing all work and materials in conformance with any code or codes of Federal, State, County or Municipality having jurisdiction over such work. All applicable requirements in these regulations shall be followed the same as if noted on the drawings. Conflicts between work set forth on the drawings and building codes, laws or regulations noted by the General Contractor shall be submitted to Designer for resolution before proceeding with the work.

14. The Contractor shall, at all times, keep premises free from all accumulation of debris caused by their operations, and at the completion of the work, shall clean all glass surfaces and leave the work areas "broom clean."

15. The General Contractor shall furnish all labor, materials, equipment and other items necessary for the completion of all work shown, called for, or reasonably implied by the contract documents except where specifically noted otherwise.

16. Where work or equipment is indicated as N.I.C., such work and/or equipment shall be provided by others. Contractor shall coordinate and cooperate to effect such installation.

17. All requests for clarification of these drawings shall be directed to Designer. Conflicts arising between details and/or plans shall be brought to the attention of Designer for clarification in writing by the Contractor before proceeding with the work.

18. All work on drawings shall be performed in conformance with requirements of the lease work letter and building standard specifications, if any, U.O.N. It is the responsibility of the Contractor to acquaint himself with all such specifications and regulations whether or not listed on drawings and/or included herein.

19. General Contractor shall provide shop drawings (one transparency and one blue line print) of all custom manufactured design elements included here within to Designer for approval prior to manufacture. Unless otherwise authorized by Designer NO manufacture shall be performed without written approval of said shop drawings.

20. No extra work or charge shall be made unless a written countersigned order from the client, signed or countersigned by, or a written order from Designer, is obtained. This order shall state that the Client has authorized the extra work or charge, and no claim for any additional sum shall be valid unless so offered and presented as described above.

21. General Contractor shall provide all doors, frames and related hardware, U.O.N.

22. General Contractor is responsible for reviewing and verifying demolition plans in relation to structural and/or construction drawings. Designer is to be notified of any conflicts, discrepancies or problems.

23. All equipment and material which is in operating condition when removed, shall be maintained as such and returned as per Owner's requirements.

24. General Contractor shall be responsible for the identification, abatement and proper disposal of any and all asbestos materials that may exist at the job site.

25. General Contractor shall submit three (3) 12" x 12" samples of all finish materials (stone, paint, carpet, wood, tile, etc.) specified on schedules, plans, details or drawings for review by Designer.

26. General Contractor shall submit shop drawings or manufacturer's cut sheets for all new design elements or equipment being provided or installed on the building exterior (including the roof) associated with the contracted project's construction for review by Designer.

27. General Contractor shall submit shop drawings or manufacturer's cut sheets for all new plumbing and electrical fixtures, equipment and accessories being provided or installed for review by Designer.

28. General Contractor shall provide a final punch list for Designer's approval.

29. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines, whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

30. Obtain permits from Public Works for:

- Any protection fence or canopy to be located on any street or public area.
- Any temporary shoring or excavations that remove the lateral support from a public way prior to construction.

31. For sites within the Potential Methane Zone, obtain approval from Fire Department and Mechanical Division of the Building Department for installing a mechanical venting system.

CONSTRUCTION PERMIT NOTES

1. Sprinkler system alteration shall be submitted under separate permit.
2. Fire and Life/Safety system alteration, if any, shall be submitted under separate permit.
3. Electrical work shall be submitted under separate permit.
4. Mechanical work shall be submitted under separate permit.
5. Pool work shall be submitted under separate permit.

32. Obtain permit from the State of California Division of Industrial Safety prior to permit issuance for:

- Trenches or excavation 5 feet or more in depth into which a person is required to descend.
- Construction or demolition of any building, structure, or scaffolding or false work more than 3 stories or 26' in height. HSC 17922.5.6

33. When the entrance to the dwelling is more than 150 ft. as measured from the edge of an improved street or approved fire lane along the normal entrance roadway or walkway to the front door. Obtain clearance from the Hydrants and Access Unit of the Fire Department (L.A.M.C. 57.09.03)

34. Any grading projects involving more than 100 cubic yards of excavation and involving an excavation in excess of 5 feet in vertical depth at its deepest point measured from the original ground surface shall be done by a State of California licensed contractor who is licensed to perform the work described herein.

35. Contractor shall submit a summary of samples which should be reviewed by Owner and Designer prior to beginning construction.

36. The Contractor shall provide an overall project schedule indicating critical meeting dates, lead times and decisions required.

37. This set of construction drawings is presented as a singular package and shall not be issued to subcontractors as individual sheets. The only drawings used for this project should have the proper issue date on each sheet and the note "Issued for Construction"

38. All work shall comply with all local and state building codes having jurisdiction.

39. The Contractor shall visit the site and verify all existing conditions and shall report to Designer, in writing, any discrepancies between the drawings and the site before proceeding with the work. Do not scale drawings.

40. All symbols and abbreviations used within these construction documents are to be considered to be construction standards. Any question as to their meaning shall be addressed to Designer, in writing, for clarification.

41. The structural, mechanical and electrical drawings are supplemental to the design drawings. It shall be the responsibility of the General Contractor to check with the Design drawings before the installation of Structural, Mechanical or Electrical work. Should there be any discrepancy between the Designer's and Consulting Engineer's drawings that would cause an awkward installation, it shall be brought to the Designer's attention for clarification prior to the construction of said work. Any work installed in conflict with the Design drawings shall be corrected by the Contractor at no expense to the Designer, Consulting Engineers or the Owner.

42. All exterior doors and windows shall be weatherstripped per specifications to meet conservation codes and standards. All exterior joints around window and door frames, between walls and foundations, between walls and roof, between wall panels and at penetrations through building envelope shall be sealed using the specified sealants and caulking to limit air leakage.

43. All void areas which may exist at penetrations of all electrical, mechanical, plumbing and communication conduits and piping through rated walls or construction shall be tightly filled with friction sating.

44. All gypsum wallboard shall be 5/8" thick u.n.o. on plans. All outside corners shall have metal corner beads. Type "X" gyp. board shall be used at all fire rated partitions. Moisture-resistant gyp. board shall be used at all toilets, baths and kitchens. Any conflict between the finish and structural or hvac requirements of the project shall be furred out or recessed as required to produce a smooth, continuous finish.

45. The General Contractor shall be responsible for all Mechanical, Electrical and Sub-contractor permits required.

46. It shall be the General Contractor's responsibility to replace any material and/or finish damaged during the execution of work.

47. The General Contractor shall provide sanitary facilities at the site as required.

48. The Designer will have the authority to reject work which does not conform to the contract documents.

49. The Designer's decisions in matters relating to aesthetic effect will be final if consistent with the contract documents.

50. Wall coverings in showers and tubs to be cement, plastic, tile or equal to 70" above drain. Enclosures shall be approved safety glazing and door shall swing out. Windows in enclosure walls shall be labeled safety glazing when less than 60" above drain.

51. All construction fencing and protection of public property shall conform to the provisions in UBC Chapter 44, Sections 4402-4405.

52. Provide smoke detectors within all sleeping rooms, within hallways leading to sleeping rooms and above all stairways, including stairways to basements. Smoke detectors shall be 120-volt hard wired State Fire Marshall approved devices with battery backup, installed in accordance with their listing. Detectors shall sound an alarm audible in all sleeping areas which they are provided for, as per code.

53. Provide draft stops for floor/ceiling assemblies.

54. Exterior doors shall be equipped with a dead locking latch and a dead bolt with hardened insert with 1" minimum throw and 5/8" minimum embedment into jamb. Both are to be key operated from the outside.

55. Windows and door lights within 40" of the locking device shall be fully tempered and/or burgary resistant.

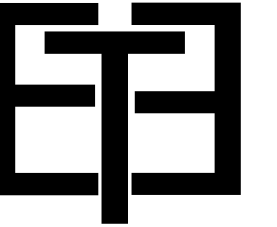
56. Designer is the Owner's representative and there shall be no direct communication with the Owner by Contractors without written permission from the Designer.

57. All exterior joint and openings in the building envelope that are observable sources of air leakage shall be caulked, gasketed, weatherstripped or otherwise sealed.

58. All work shall comply with ubc 1997, umc 1994, upc 1994 and nec 1993.

INTERIORS

1. Provide 70" high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure. 91.807.1.3, 91.2406.4(5)
2. Dimensions on plans include the 30" clear width for water closet compartment and 24" clearance in front of water closet for bathroom. 91.2904
3. Existing shower heads and toilets to be adapted for low water consumption. Only low consumption water closets shall be provided.
4. Water Heater must be strapped to wall. Sec. 507.3, UPC
5. Provide emergency egress from sleeping rooms. Min.-24" clear ht., 20" clear width, 5.7 sq.ft. min. area & 44" max to sill. 91.310.4
6. Outlets along wall counter space, island and peninsular counter space in kitchens shall have a maximum spacing of 48". 210-52 LACEC
7. Exit doorways shall not be less than 36" in width and 6'-8" in height. Projections, including panic hardware, shall not reduce the opening to less than a clear width or 32". 91.1004.16 The door must open over landing not more than 1" below the threshold. Exception: providing the door does not swing over landing, landing shall not be more than 8" below threshold. 91.1003.3.1.6
8. Provide 32" wide doors to all interior accessible rooms within a dwelling unit 91.6304.1
9. Enclosed useable space under interior stairs to be one hour fire resistive construction on enclosed side. 91.1003.3.3.9 (such as 5/8" type X, Gyp. Brd.)
10. Glass skylight to comply with 91.2409.
11. Attic with over 30" headroom to have access opening 22" x 30" min. 91.1505.1
12. Attic ventilation of 1/150 of the area of ventilated space approx. 10sq.in. for each 10sq.ft. of attic area is required. 91.1505.3



SECURITY REQUIREMENTS

General:

1. All entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer, through windows located in the vicinity of the door or through a view ports in the door or adjoining wall. 91.6706

2. Screens, barricades, or fences made of material which preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8' of the utility pole or similar structures. 91.6707

Doors:

3. Wood flush-type doors shall be 1 3/8" thick min. with solid core construction. 91.6709.1 - Door stops of inswinging doors shall be of one piece construction with the jamb or joined by rabbet to the jamb. 91.6709.4

4. Every door in a security opening for an apartment house shall be provided with a light bulb (60 watts min.) At a max. height of 8' on the exterior. 91.6708

5. All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. 91.6709.5, 91.6709.7

6. Provide dead bolts with hardened inserts, deadlocking latch with key-operated locks on exterior. Locks must be operable from inside without key, special knowledge or special effort (latch not required in B, F, and S Occupancies. 91.6709.2

7. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a min. throw of 3/4". 91.6709.2

8. The use of a locking system which consists of a dead-locking latch operated by a doorknob and a deadbolt operated by a non-removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system which requires special knowledge or effort when used in dwelling units. The door knob and the thumb turn which operates the deadbolt shall not be separated by more than 8".

9. Wood panel type doors must have panels at least 9/16" thick with shaped portions not less than 1/4" thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18" long may have an overall width of not less than 2" and 3" in width. 91.6709.1 Item 2

10. Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. 91.6710

11. Sliding glass doors shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in 91.6717.1

12. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless electrically operated. 91.6711

13. Provide metal guides at top and bottom of metal accordion grate or grille-type doors and cylinder locks or padlocks. Cylinder guards shall be installed on all cylinders which project beyond the face of the door or are otherwise accessible to gripping tools. 91.6712

Glazing:

14. Glazed openings within 40" of the door lock when the door is in the closed position shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a max. opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2" in their greatest dimensions. 91.6713

Windows:

15. Louvered windows shall be protected by metal bars or grills with openings that have at least one dimension of 6" or less, which are constructed to preclude human entry. 91.6715.3

16. Other operable windows shall be provided with substantial locking devices. In B, F, M and S occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with min. 9/32" hardened steel shackles and bolted, hardened steel hasps. 91.6715.2

17. Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. 91.6715.1

18. Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in 91.6717.2

19. Any release for metal bars, grills, grates or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24" from the closest opening through such metal bars, grills, grates or similar devices that exceed two inches in any dimension. 91.6715.4

Opening other than Doors or Glazed Openings:

20. All other openings must be protected by metal bars or grilles with openings of not less than 6" in one dimension. 91.6716

PLUMBING NOTES

1. All existing water pipes to be wrapped per state and local codes. All existing pipe installation to be removed & replaced. New installation to include finished quality taped joints & elbows w/ identification signs mtd. on the top side of the pipe. to approve sample before the commencement of the entire scope of work.

2. All existing plumbing being abandoned shall be capped as per state and local codes behind existing finished surfaces.

3. All plumbing fixtures shall be supplied and installed by Plumbing Contractor, unless otherwise noted.

4. All water pipes to be insulated per state and local codes.

5. Plumbing contractor shall provide rough plumbing and final hookup for all specified fixtures and appliances, unless otherwise noted.

6. Plumbing contractor shall provide all necessary information for cutouts to be performed in millwork by the cabinet contractor.

CEILING NOTES

1. Ceiling contractor shall provide all necessary bridging, blocking and cutouts required for the installation of all lighting fixtures, speakers, diffusers, grills, etc.

2. All exhaust fans shall be silent running and have a minimum 8'-0" long duct between the return air grille and the fan motor. Duct shall be lined with 1" thick fiberglass liner, an equivalent length of glass fiber flexible duct is acceptable. DO NOT locate fan motor above ceiling of room served by fan; locate motors above corridor or open area ceilings.

3. Where ceilings are specified to be fire-rated construction, all recessed light fixtures and speakers shall be boxed out above the ceiling with a fire-rated enclosure equal to the rating of the ceiling.

4. Where the ceiling loads do not exceed 5 pounds per square foot, the following bracing method may be employed:

A. Lateral support may be provided by four wires of minimum No. 12 gauge placed in four directions 90 degrees apart, and connected to the main runner within 2 inches of the cross runner and to the structure above at an angle not exceeding 45 degrees from the plane of the ceiling. These lateral support points shall be placed 12'-0" on center in each direction with the first point within 4'-0" from each wall.

B. Allowance shall be made for lateral movement of the system. Main runners and cross runners maybe attached at two adjacent grid perimeter walls with clearance between the wall and the runners maintained at the other two walls.

C. Vertical support shall be provided as required in U.B.C., Chapter 25 with the added requirement that discontinuous ends of cross runners and main runners be vertically within eight inches of such discontinuities as may occur where the ceiling is disrupted by a wall.

D. Lighting fixtures and air diffusers shall be supported directly by wires to the structure above. Exception:

(1) Recessed lighting fixtures not over 56 pounds in weight, and suspended and pendent hung fixtures not over 20 pounds in weight, may be supported and attached directly to the ceiling system runners by a positive attachment such as screws or bolts.

(2) Air diffusers which weigh not more than 20 pounds and which receive no tributary loading from ductwork may be positively attached to and supported by the ceiling runners.

5. The above requirements are intended to be identical to those currently enforced by the Department of Building and Safety and U.B.C. Standard #25-2. Other methods may be used provided they are substantiated by design calculations using the loads specified in 1999 UBC/1998 CBC, Ch. 16 and 25.

PARTITION & WALL NOTES

1. The General Contractor shall check and verify all dimensions and conditions at job site and request clarification from Designer, regarding discrepancies between drawings and field conditions before commencing with any work.

2. Do not scale drawings; dimensions govern. Large scale details override small scale details. For information concerning columns, exterior walls, etc., see base building architectural drawings. All discrepancies should be brought to the attention of .

3. All snap lines and sprayed corners are to be put down and approved by Designer prior to the start of framing.

4. Partitions are dimensioned to existing finish where occurs; otherwise to face of new structure, U.O.N.

5. All "HOLD" dimensions must be maintained.

6. All partitions shown as "ALIGN" are to be smooth and flush with indicated construction.

7. Unless otherwise noted, all new partitions shall have studs at 2'-0" on center. Bottom channel shot nailed to floor at 2'-0" on center. Top rail to be securely attached to structure above with metal stud kickers every 4'-0" on center in alternating directions at 45 degrees for lateral support per code requirements.

8. Partitions extending to the slab shall be sealed to the slab, perimeter walls and around penetrations to form the plenum.

9. At all gypsum board corners and partition ends and tops, metal corner beads are to be installed, taped, spackled flush and sanded smooth.

10. Where required, provide furring or minimum additional partition thickness for plumbing walls.

11. All wood blocking shall be fire retardant treated in accordance with all state and local building codes.

12. Contractor shall provide a minimum of level "5" finish on all gyp. bd. walls prior to painted finish application. New partitions shall be approved for finish by prior to painting.

CASEWORK & MILLWORK NOTES

1. All custom cabinets or millwork shall be furnished, delivered and installed by cabinet contractor.

2. Millwork contractor to verify and be responsible for field verification of all site conditions, dimensions and delivery access prior to installation.

3. Millwork contractor to coordinate with partition contractor to verify size and placement of blocking as required to support wall hung cabinets.

4. All millwork, blocking, grounds and rough blocks to be fire retardant treated in accordance with local municipal codes.

5. Where electrical work is specified in conjunction with cabinet work, lamps and fixtures are to be provided by the electrical contractor. Cutouts for switches, outlets, etc., shall be provided by the millwork contractor and coordinated with the electrical contractor.

6. Millwork contractor shall submit shop fabrication drawings (one transparency and one blue line print of each drawing) for review by Designer, prior to any fabrication.

7. The review of shop drawings shall be general and/or for aesthetic interpretation; and except as otherwise indicated, shall not be construed as: permitting any departure from contract or lease requirements; relieving the Contractor of responsibility for any error in details, dimensions, or otherwise that may exist; or as our approving departure from additional details or instructions previously furnished by . The Contractor shall correct errors in/and omissions from the work, without additional cost to the Tenant or Owner whether or not work was installed as per reviewed shop drawings.

8. All millwork shall be fabricated of minimum 3/4 inch stock, or as noted on details.

9. All plastic laminate tops and faces to have balancing backer sheets.

10. Millwork contractor shall submit all paint, wood and special finish samples in triplicate for review by Designer. Interior, prior to fabrication.

11. Millwork contractor shall be responsible for all wall covering in or on cabinet work, unless otherwise noted.

12. All millwork shall be finished in shop with necessary touch-up to be performed on job site after installation.

13. All built-in plumbing fixtures shall be supplied and installed by plumbing contractor. Plumbing contractor shall supply all necessary information for cutouts to be performed by cabinet contractor within one week after award of contract.

14. All millwork to be manufactured in accordance with the Woodwork Institute of California Manual of Millwork:

A. Premium Grade Construction, U.O.N., for all hardwood and veneer finished millwork.

B. Custom Grade Construction, U.O.N., for all plastic laminate finish millwork, see exception below.

15. Unless Otherwise Noted, Interior finishes of hardwood finished cabinetry shall match exterior finish. Interior finishes of plastic laminate cabinetry shall be:

A. Plastic laminate to match exterior for all open cabinets.

B. White "Melamine" or "Kortron" finish for all enclosed cabinets.

Exception to 15-B: Interior Faces of Hinged Doors shall be faced with the same laminate as the exposed surfaces.

ENERGY REQUIREMENTS

1. A night setback thermostat shall be installed. Minimum 40 lumens/watt efficiency shall be provided for general lighting in kitchens and bathrooms (fluorescent lights)

2. Provide R-12 exterior blanket for hot water heater and solar tanks. R-3 insulation shall be provided for the first five feet of the water heater outlet pipe. All water heating and space conditioning equipment, shower heads and faucets shall be C.E.C. certified. All steam and steam condensate return piping and all continuously circulating domestic heating or hot water piping shall be insulated per Plumbing Division.

3. Ducts shall be constructed, installed and insulated per Chapter 10 of 1994 UMC. Back draft dampers for all exhaust and fan systems shall be provided. Masonry and factory built fireplaces shall be installed with tight fitting, closable metal or glass doors, outside air intake with damper, and flue damper. Continuous burning gas pilots are prohibited.

4. All insulation materials shall be certified by the manufacturers complying with the California Quality Standards for Insulating Material. Doors and windows between conditioned and outside of unconditioned spaces such as garages and compartments for central air gas furnaces shall be fully weatherstripped.

5. Manufactured doors and windows shall be certified and labeled in compliance with the appropriate infiltration standards. Caulk plumbing and electrical penetrations, all window and door frames, between wall soleplates and floors and all other opening in the envelope. All exterior openings shall be properly weatherstripped, certified and labeled

6. The building design meets the requirements of Title 24, Part 2, Chapter 2-53. Insulation installer shall post in a conspicuous location in the building a certificate signed by the installer and builder stating that the installation conforms with the requirements of Title 24, Chapter 2-53 and that the materials installed conform with the requirements of Title 20, Ch. 2, Sbc#4, Art 3.

H.V.A.C NOTES

1. H.V.A.C. contractor shall submit ductwork to Designer for approval of supply diffuser and return register locations before starting work.

2. H.V.A.C. contractor shall verify adequate clearances for all air conditioning units, ductwork, etc. against recessed fixtures, piping, beams, etc. and bring all unworkable conditions to the attention of the Designer prior to the installation of any Mechanical equipment.

3. H.V.A.C. contractor shall verify all thermostat, diffusers and return register locations against all revised drawings.

4. H.V.A.C. contractor shall verify that site conditions and engineered mechanical plans coincide before commencing work.

5. Refer to engineer's drawings for locations and sizes of air conditioning relief openings required in partitions above ceilings.

WALL & FLOOR FINISH NOTES

1. Refer to Finish Plan(s) and to specific notes and/or specific details thereon. Also, see Construction and Fire Department Notes.

2. Submit three (3) 12" x 12" samples of all finish materials (stone, paint carpet, wood, etc.) for review by Designer.

3. Wall finishes shall conform to local building codes for flame spread rating.

4. Wall surfaces shall be prepared for paint. All paint shall be applied in accordance with manufacturer's specifications for the particular surfaces. Provide minimum two (2) coats of paint finishes over primer (or as required). Repair or touchup areas, where necessary, prior to completion.

5. Wall surfaces receiving vinyl wall covering shall receive one coat of sealer and/or primer coat in flat finish.

6. Paint finish of all walls, columns, ceilings, facias and soffits shall be "eggshell", unless otherwise noted.

7. Paint finish of all metals parts, i.e., doors and door frames, convactor enclosures, window frames, metal pockets, metal trim (not shop finished), etc., shall be sprayed on alkylid semi-gloss, U.O.N. Paint finish on all wood doors, casework and millwork where specified is to be spray-on semi-gloss enamel finish.

8. Seams must be butted straight. All material must be left clean without unglued edges or air bubbles. Cut edges must be concealed by hardware, electrical cover plates, etc.

9. Wall covering contractor shall coordinate all wall covering application in or on cabinet work with cabinet contractor.

10. All access panels shall be painted to match adjacent finishes, U.O.N.

11. All required priming or sizing of walls in order to apply paint or wall covering shall be by the wall finish contractor installing the specified finish.

12. Contractor shall remove all existing base boards and flooring materials, U.O.N., to expose original building sub flooring (plywood or concrete). Patch and repair sub floor to receive new finish flooring in adequate time for installation.

13. Where carpeting meets tile, provide Mercer (or equal) vinyl commercial carpet reducer molding, U.O.N.

14. Where carpeting occurs in doorways, locate seams under center of door.

15. Closets are to receive the same floor covering as the rooms in which they occur, U.O.N.

16. Unless otherwise noted, provide base as follows:

Straight: at all carpeted; Cove: at all hard floor and tiled areas.

17. Install carpet base after wall covering and before carpeting.

18. Flooring contractor shall test floor slab where wood is being installed for moisture. If required, seal floor slab with Deco-Rez, #3501M moisture guard, before installation of wood flooring.

19. In areas receiving ceramic or stone tile; grout is to match floor color, U.O.N. Where edge of tile is exposed, use matching finish trim strip.

20. Flooring contractor shall provide matt finish sealer (2 coats min.) on all unfinished tile or stone flooring, U.O.N.

ELECTRICAL NOTES

1. All work to be performed by electrical contractor shall be in strict accordance with all applicable Building Codes, ordinances and energy requirements, and shall be performed by duly licensed electricians.

2. Electrical contractor shall be responsible for adequate power and wiring and for all distribution facilities to the demised premises, including but not limited to panels, switches, breakers, etc., to meet all specified requirements.

3. The electrical contractor shall perform all chopping, cutting and drilling of partitions and floors necessary for the proper installation of all electrical work.

4. All high and low voltage wiring to be installed in properly sized conduit as required by state and local codes.

5. Outlets to be installed at locations shown by dimensions on Electrical and Lighting plan. Where no dimension is indicated, outlet locations shall be scaled off drawings.

6. Outlets indicated as back to back shall be installed staggered, unless otherwise noted.

7. All high and low voltage wiring to run concealed in walls, columns, floor, U.O.N.

8. Electrical contractor shall coordinate all work with other trades, including HVAC contractor, in connection with suspended ceiling installation and mechanical equipment. H.V.A.C. contractor shall direct this contractor as to adequate power and cable requirements of various H.V.A.C. equipment. All wiring of equipment and controls shall be performed by electrical contractor.

9. All telephone work is to be coordinated with telephone company.

10. Where telephone or data outlets are indicated, contractor shall provide one single gang wall box (or floor box, as required) with 3/4" conduit stubbed up 6 inches above the ceiling, U.O.N. General Contractor shall supply interface devices and cover plates. Installation and demolition of all telephone and data cabling shall be done by the Tenant's own vendor. If outlet is indicated as future, electrical contractor shall provide a blank cover plate to match electrical cover plates. All telephone and electrical outlets for telephone equipment shall be verified and approved by Tenant's telephone company and shall approve all conduit sizes and locations.

11. For fixture locations and specifications refer to reflected ceiling plans and master legend.

12. All dimensions of lighting fixtures are given to centerline of fixture, U.O.N.

13. All incandescent down light and wall wash fixtures shall be circuited to accept 150-watt lamps, even though lesser wattage lamps may be specified, U.O.N.

14. Where one (1) switch only is indicated on plan, contractor shall provide additional switches as required in accordance with C.A.C Title 24 and best trade practices. Such switches shall be in locations as indicated on plan (within 8' of door jamb, U.O.N.) and grouped in gang plates.

15. Electrical contractor (Engineer) shall provide night lighting by assigning selected fixtures to a 24-hour (emergency) circuit and as required by local electrical codes.

16. Install all wall-mounted telephone, electrical and data outlets at +15" A.F.F., U.O.N.

17. Install light switches at +42" A.F.F. and within 8" of door jamps, U.O.N.

18. All outlets and switches located above counter tops shall be mounted vertically, U.O.N., and horizontally aligned.

19. Thermostats shall be installed at +42" max. A.F.F. and adjacent to light switches, U.O.N.

GENERAL NOTES

PROPOSED REMODEL OF JOY'S CAFE TO:
HAUS- HOTEL AND SPA

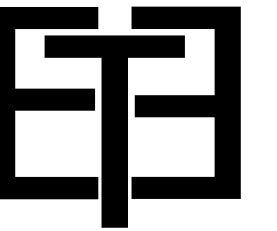
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: **NTS**

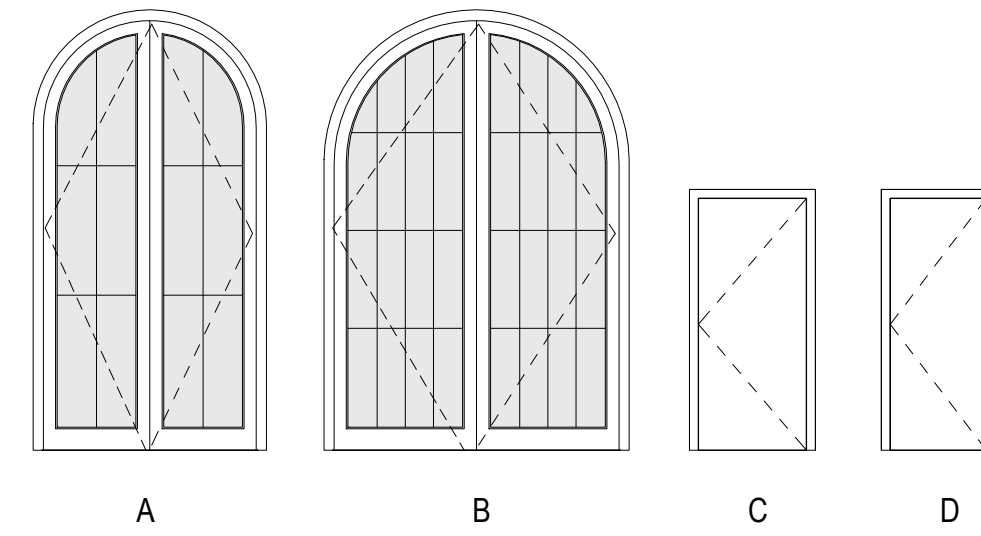
DATE: **9.3.2019**

SHEET #:

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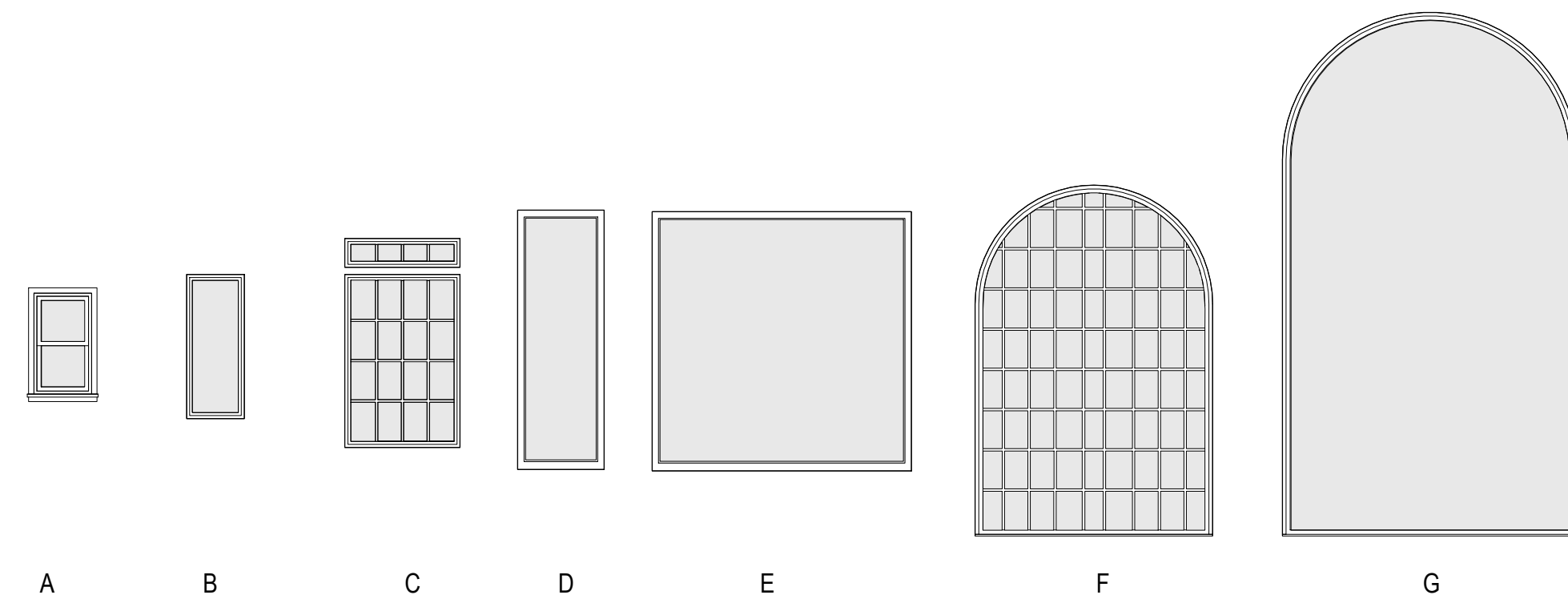


DOOR SCHEDULE:										NOTES:							
ID	TYPE	LOCATION	SIZE	MATERIAL	CONSTRUCTION	GLAZING	RATING	HWDE	FINISH				DETAILS				
									IN. F.	IN. L.	EXT. F.	EXT. L.	HEAD	JAMB	SILL		
1	B	RECEPTION 101	6'x12'	IRON		YES	1 HOUR		-	-	-	-	-	-	-	-	-
2	B	RECEPTION 101	6'x12'	IRON		YES	1 HOUR		-	-	-	-	-	-	-	-	-
3	A	RECEPTION 101	6'x12'	IRON		YES	1 HOUR		-	-	-	-	-	-	-	-	-
4	C	WET ROOM 106	36'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
5	C	WET ROOM 109	36'x84"	WOOD		-	1 HOUR		-	-	-	-	-	-	-	-	-
6	D	WET ROOM 106	32'x84"	WOOD		YES	1 HOUR		-	-	-	-	-	-	-	-	-
7	D	WET ROOM 109	32'x84"	WOOD		YES	1 HOUR		-	-	-	-	-	-	-	-	-
8	C	STORAGE 103	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
9	D	ADMIN 102	36'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
10	D	STAIRWELL A	36'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
11	C	WOMEN'S WIC 110	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
12	C	WOMEN'S WIC 110	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
13	C	WOMEN'S WIC 110	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
14	C	WOMEN'S WIC 110	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
15	D	WOMEN'S WIC 110	36'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
16	C	SAUNA A 110	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
17	C	MEN'S WIC 112	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
18	C	MEN'S WIC 112	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
19	C	MEN'S WIC 112	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
20	C	MEN'S WIC 112	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
21	D	MEN'S WIC 112	36'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
22	C	SAUNA B 113	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
23	C	T ROOM A 115	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
24	C	T ROOM F 120	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
25	C	T ROOM B 116	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
26	C	T ROOM E 119	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
27	C	T ROOM D 118	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
28	C	T ROOM C 117	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
29	C	SPA CORRIDOR 105	32'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-
30	B	SPA CORRIDOR 105	6'x12'	IRON		-	1 HOUR		-	-	-	-	-	-	-	-	-
31	D	STAIRWELL B	36'x84"	WOOD	SOLID CORE	-	1 HOUR		-	-	-	-	-	-	-	-	-



DOOR HARDWARE TYPES:		
TYPE	CATEGORY	DESCRIPTION
1	EXIT DOOR	3 HINGES, 30" STANDARD TOUCH BAR, DEADBOLT, CLOSER, STOPPER
2	ENTRY DOOR	3 HINGES, LATCH LOCKET, DEADBOLT, CLOSER, STOPPER
3	RESTROOM DOOR	3 HINGES, LEVER, KEYHOLE, CLOSER, STOPPER
4	SHOWER DOOR	2 HINGES, LEVER, CLOSER, STOPPER
5	TOILET STALL DOOR	2 HINGES, LEVER, PRIVACY LOCK, CLOSER, STOPPER

WINDOW SCHEDULE:										NOTES:							
ID	TYPE	LOCATION	SIZE	MATERIAL	CONSTRUCTION	GLAZING	RATING	HWDE	FINISH				DETAILS				
									IN. F.	IN. L.	EXT. F.	EXT. L.	HEAD	JAMB	SILL		
1	F	RECEPTION 101	6'x12'	IRON	DTP	YES	1 HOUR		-	-	-	-	-	-	-	-	-
2	G	SPA CORRIDOR 105	10'x18'	IRON	DTP	YES	1 HOUR		-	-	-	-	-	-	-	-	-
3	F	SPA CORRIDOR 105	6'x12'	IRON	DTP	YES	1 HOUR		-	-	-	-	-	-	-	-	-
4	F	SPA CORRIDOR 105	6'x12'	IRON	DTP	YES	1 HOUR		-	-	-	-	-	-	-	-	-
5	F	SPA CORRIDOR 105	6'x12'	IRON	DTP	YES	1 HOUR		-	-	-	-	-	-	-	-	-
6	F	SPA CORRIDOR 105	6'x12'	IRON	DTP	YES	1 HOUR		-	-	-	-	-	-	-	-	-
7	F	SPA CORRIDOR 105	6'x12'	IRON	DTP	YES	1 HOUR		-	-	-	-	-	-	-	-	-
8	F	SPA CORRIDOR 105	6'x12'	IRON	DTP	YES	1 HOUR		-	-	-	-	-	-	-	-	-
9	A	SPA LOUNGE 114	6'x12'	IRON	DTP	YES	1 HOUR		-	-	-	-	-	-	-	-	-
10									-	-	-	-	-	-	-	-	-



FURNITURE SCHEDULE:								
NO.	ITEM	LOCATION	MANUFACTURER	MODEL	DIMENSIONS	FINISH	DETAILS	REMARKS
001	COUCH	SPA LOUNGE 114	BERNHARDT DESIGN	4142	7'2" x 3'4"	BEIGE LINEN	ADD PILLOWS	6-8 WEEK LEAD TIME
002	CHAIR	SPA LOUNGE 114	BERNHARDT DESIGN	DIEGO 5882	2'8" x 2'8"	BLUE LEATHER	-	6-8 WEEK LEAD TIME
003	BED	TREATMENT ROOM A-F	STRONGOUTE	ST 3048	2'9" x 6'2"	EBONY STAIN	-	14 WEEK LEAD TIME
004	RUG	SPA CORRIDOR 105	TUFENKIAN	ACN12BWHY	53'4" x 9'0"	BEIGEWOOL	-	12 WEEK LEAD TIME
005	PLANT	SPA CORRIDOR 105	LA CIENEGA NURSERY	RUBBER TREE	1'8" x 1'8"	RED/GREEN	PLANTER INCLUDED	IN STOCK
006	CHAIR	RECEPTION 101	KNOLL	CHAP 2932	24" x 3'0"	RAW WOOD	W/ ARMS	IN STOCK
007	PLANT	RECEPTION 101	LA CIENEGA NURSERY	FIG TREE	2'4" x 2'0"	RED/GREEN	PLANTER INCLUDED	IN STOCK
008	SHELF	ADMIN OFFICE 102	KNOLL	J204.3	4'2" x 1'0"	STEEL/WOOD	ADJUSTABLE SHELF	IN STOCK
009	DESK	ADMIN OFFICE 102	KNOLL	193AC	2'0" x 4'0"	BEECHWOOD	-	IN STOCK
010	CHAIR	ADMIN OFFICE 102	KNOLL	TTS22	22" x 2'2"	OAK WOOD	-	IN STOCK

FINISH SCHEDULE:							
NO.	ITEM	LOCATION	MANUFACTURER	MODEL	DIMENSIONS	FINISH	REMARKS
CT-1	CONCRETE	SEE FINISH PLAN	TRUFORM	SINGLE_L1	N/A	LIMESTONE	TO BE SEALED WITH APPROVED SEALANT
CT-2	CONCRETE	SEE FINISH PLAN	TRUFORM	SINGLE_PE	N/A	PEWTER	TO BE SEALED WITH APPROVED SEALANT
CT-3	CONCRETE	SEE FINISH PLAN	TRUFORM	SINGLE_PE	N/A	TAUPE	TO BE SEALED WITH APPROVED SEALANT
TL-1	TILE	SEE FINISH PLAN	EMSER	BOCHARW1013M	10"x10"	MOSAIC MESH	WALL TILE
TL-2	TILE	SEE FINISH PLAN	EMSER	BULCEA81212M	3"x6"	LUCENTE	FLOOR TILE
PT-1	PAINT	SEE FINISH PLAN	BENJAMIN MOORE	OC-17	N/A	DOVE WHITE	WASHABLE

HARDWARE SCHEDULE:								
NO.	ITEM	LOCATION	MANUFACTURER	MODEL	DIMENSIONS	FINISH	DETAILS	REMARKS
001	30" GRAB BAR	LOCKER ROOM 112	KOHLER	K-13432	3" x 3" x 30"	STAINLESS STEEL	ADA COMPLIANT	IN STOCK
002	42" GRAB BAR	LOCKER ROOM 112	KOHLER	K-47382	3" x 3" x 42"	STAINLESS STEEL	ADA COMPLIANT	IN STOCK
003	TOILET COVER DISPENSER	LOCKER ROOM 112	KOHLER	K-38262	2" x 15" x 11"	STAINLESS STEEL	ADA COMPLIANT	IN STOCK
004	TOILET PAPER DISPENSER	LOCKER ROOM 112	KOHLER	D-829	13 1/4" x 4" x 12"	STAINLESS STEEL	ADA COMPLIANT	IN STOCK
005	ROBE HOOK	WET ROOM 106	KOHLER	K-1340-2732	2" x 2"	WROUGHT IRON	ADA COMPLIANT	1-2 WEEK LEAD TIME

PLUMBING SCHEDULE:								
NO.	ITEM	LOCATION	MANUFACTURER	MODEL	DIMENSIONS	FINISH	DETAILS	REMARKS
001	SINK	TREATMENT ROOM A-F	WIS BATH COLLECTIONS	60-55A	1'0" x 9'0"	CERAMIC WHITE	DUAL SPRAY MODE	HARDWARE INCLUDED
002	SINK	LOCKER ROOM	KOHLER	K-1245	1'7" x 1'7"	WROUGHT IRON	SINGLE BASIN	IN STOCK
003	FAUCET	LOCKER ROOM	KOHLER	K-4453	8" x 2" x 12"	WROUGHT IRON	WATERFALL SPOUT	IN STOCK
004	SHOWER	LOCKER ROOM	KOHLER	K-4883	28" x 4" x 12"	POLISHED CHROME	RAIN SHOWER	IN STOCK
005	TOILET	LOCKER ROOM	KOHLER	K-6972	28" x 14" x 31"	CERAMIC WHITE	HIGH EFFICIENCY	IN STOCK

POWER AND COMMUNICATION SCHEDULE:								
NO.	ITEM	LOCATION	MANUFACTURER	MODEL	DIMENSIONS	FINISH	DETAILS	REMARKS
001	QUADPLEX WALL OUTLET	RECEPTION 101	LEGRAND	IR-2824	2 3/4" x 1 1/2"	WHITE STEEL	120V	WALL MOUNTED
002	QUADPLEX FLOOR PLATE	RECEPTION 101	LEGRAND	IL-343824	5 3/4" x 5 3/4"	WHITE STEEL	120V	FLOOR MOUNTED
003	QUADPLEX WALL PLATE	RECEPTION 101	LEGRAND	ID9-224	4 1/2" x 1 1/2"	WHITE STEEL	120V	WALL MOUNTED
004	WALL MOUNTED CABLE	RECEPTION 101	LEGRAND	PR-2178	2 3/4" x 1 1/2"	WHITE STEEL	SINGLE CABLE JACK	F-STYLE CONNECTOR
005	WALL MOUNTED J-BOX	RECEPTION 101	LEGRAND	KM-R-29224	4" x 4" x 1 1/2"	WHITE STEEL	120VAC INPUT	WALL MOUNTED

LIGHTING FIXTURE SCHEDULE:								
NO.	ITEM	LOCATION	MANUFACTURER	MODEL	DIMENSIONS	FINISH	DETAILS	REMARKS
001	RECESSED CAN	RECEPTION 101	NICHLER	018M82	DIAMETER 8"	WHITE METAL TRIM	LED - LAMP	IN STOCK
002	WALL WASHER	SPA CORRIDOR 105	HINKLEY	LM-2-281	12" X 12"	BRONZE	LED - LAMP	6-8 WEEK LEAD TIME
003	PENDANT	SPA CORRIDOR 105	FESS	56493	15" x 15" x 8"	WROUGHT IRON	LED - LAMP	6-8 WEEK LEAD TIME
004	LED STRIP	STEAM ROOM 107	NICHLER	018M82	2" x 4' 0"	NO FINISH	LED - LAMP	4-6 WEEK LEAD TIME
005	WALL SCONCE	EXTERIOR	MAXIM	19-12-10492	DIAMETER 4"	WROUGHT IRON	LED - LAMP	12-18 WEEK LEAD TIME (CUSTOM ORDER)

EQUIPMENT SCHEDULE:								
NO.	ITEM	LOCATION	MANUFACTURER	MODEL	DIMENSIONS	FINISH	DETAILS	REMARKS
001	COMPUTERS	RECEPTION 101	APPLE	MACBOOK	27" MONITOR	RETINA DISPLAY	QUAD CORE	IN STOCK
002	ELEVATOR	RECEPTION 101	MODULAR	MSNF-12-1813	6' x 4' x 8'	STAINLESS STEEL	QUEST ELEVATOR	IN STOCK
003	FREIGHT ELEVATOR	NIC	MODULAR	MNS9-27-1827	6' x 4' x 8'	STAINLESS STEEL	SERVICE ELEVATOR	IN STOCK
004	SAUNA UNIT	SAUNA 111	THERMASOL	HR-12	12" x 10" x 8"	STAINLESS STEEL	WATERPROOF	2-4 WEEK LEAD
005	STEAM UNIT	STEAM 107	THERMASOL	TMR-15	8" x 12" x 16"	STAINLESS STEEL	WATERPROOF	2-4 WEEK LEAD

MASTER LEGEND

PROPOSED REMODEL OF JOYA'S CAFE TO:
HAUS- HOTEL AND SPA

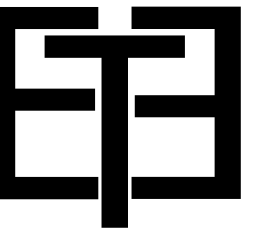
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: N.T.S.

DATE: 9.3.2019

SHEET #:

ID-0.3



GENERAL DEMOLITION NOTES:

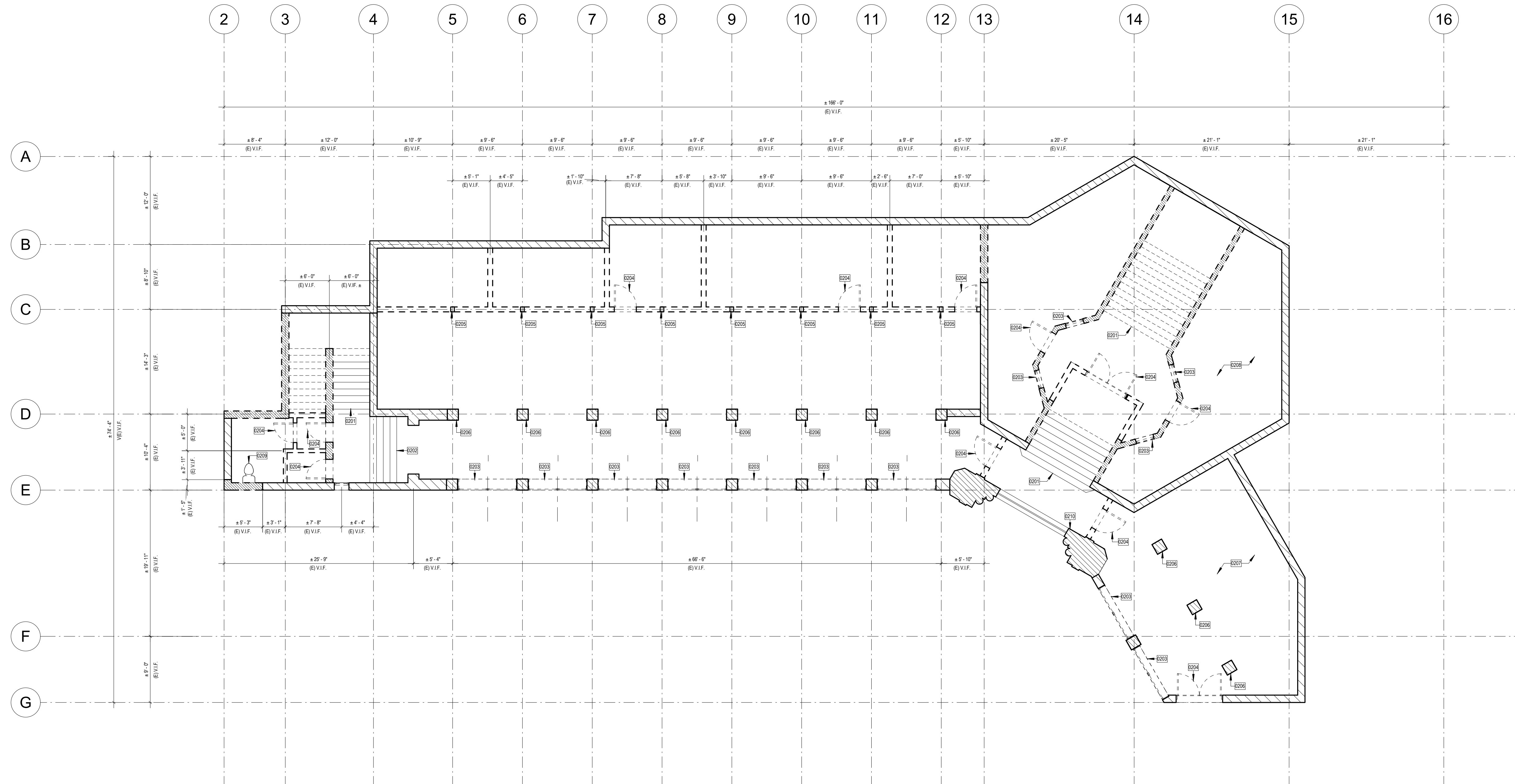
1. THE INTENT OF THE DEMOLITION PLAN IS TO SHOW THE GENERAL NATURE OF THE DEMOLITION SCOPE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE AND VERIFYING THE EXISTING CONDITION. THE GENERAL CONTRACTOR SHOULD NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL EXISTING CONSTRUCTION TO REMAIN AND BE PROTECTED UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS NOTED OTHERWISE.
4. CAUSE NO DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. TAKE CARE NOT TO ENCRANCH ON AREAS NOT WITHIN THE SCOPE OF WORK. PROTECT ALL EXISTING FINISHES, DOORS, FRAMES, ETC. WHICH ARE TO REMAIN.
5. COORDINATE AND VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION.
6. REMOVE BOTH EXISTING STAIRS.
7. CONDUCT DEMOLITION OPERATIONS & THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS, & OTHER ADJACENT OCCUPIED OR USED FACILITIES. COMPLY WITH LOCAL JURISDICTION REQUIREMENTS FOR RECYCLING AND TREATMENT OF ITEMS TO BE RECYCLED.
8. DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIALS LEGALLY OFF THE SITE. COMPLY WITH ALL LOCAL HAULING & DISPOSAL REQUIREMENTS.
9. DEMOLITION SCHEDULE SHALL BE COORDINATED THROUGH THE OFFICE OF THE OWNER'S REP.
10. EXISTING STRUCTURAL COLUMNS TO BE REMOVED, SHORE AS REQUIRED.

DEMOLITION KEY NOTES:

- 0000 PROCUREMENT AND CONTRACTING REQUIREMENTS
- 0100 GENERAL REQUIREMENTS
- 0200 EXISTING CONDITIONS
- 2201 (E) STAIRCASE AND RAILING TO BE REMOVED
- 2202 (E) STAIR TO REMAIN, RAILING TO BE REMOVED
- 2203 (E) WINDOW TO BE REMOVED
- 2204 (E) DOOR TO BE REMOVED
- 2205 (E) STRUCTURAL COLUMN TO BE REMOVED
- 2206 (E) STRUCTURAL COLUMN TO REMAIN
- 2207 (E) CONCRETE SUBFLOOR TO REMAIN
- 2208 (E) WOOD FLOORING TO BE REMOVED
- 2209 (E) PLUMBING TO BE REMOVED
- 2210 (E) CONCRETE STRUCTURAL FRAMING TO REMAIN
- 0300 CONCRETE
- 0400 MASONRY
- 0500 METALS
- 0600 WOOD, PLASTIC, COMPOSITES
- 0700 THERMAL AND MOISTURE PROTECTION
- 0800 OPENINGS
- 0900 FINISHES
- 1000 SPECIALTIES
- 1100 EQUIPMENT
- 1200 FURNISHINGS
- 1300 SPECIAL CONSTRUCTION
- 1400 CONVEYING EQUIPMENT
- 2100 FIRE SUPPRESSION
- 2200 PLUMBING
- 2300 HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)
- 2500 INTEGRATED AUTOMATION
- 2600 ELECTRICAL
- 2700 COMMUNICATIONS
- 2800 ELECTRONIC SAFETY AND SECURITY
- 3100 EARTHWORK
- 3200 EXTERIOR IMPROVEMENTS
- 3300 UTILITIES
- 3400 TRANSPORTATION
- 3500 WATERWAY AND MARINE CONSTRUCTION
- 4000 PROCESS INTEGRATION
- 4100 MATERIAL PROCESSING AND HANDLING EQUIPMENT
- 4200 PROCESS HEATING, COOLING AND DRYING EQUIPMENT
- 4300 PROCESS GAS, LIQUID HANDLING, PURIFICATION & STORAGE EQ.
- 4400 POLLUTION AND WASTE CONTROL EQUIPMENT
- 4500 INDUSTRY-SPECIFIC MANUFACTURING EQUIPMENT
- 4600 WASTE AND WASTEWATER EQUIPMENT
- 4800 ELECTRICAL POWER GENERATION

LEGEND:

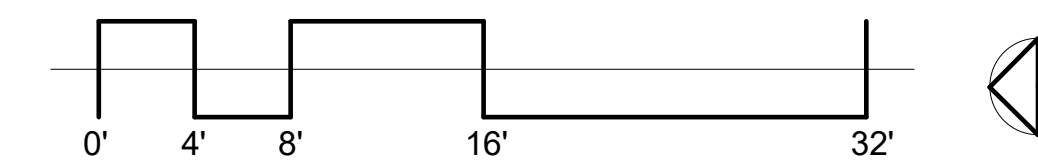
- FRAMED TO REMAIN
- FRAMED TO BE REMOVED
- CMU TO REMAIN
- CMU TO BE REMOVED
- DOOR TO BE REMOVED
- STRUCTURAL COLUMN TO REMAIN
- STRUCTURAL COLUMN TO BE REMOVED



DEMOLITION PLAN

1/8" = 1' - 0"

1



DEMOLITION PLAN

PROPOSED REMODEL OF JOY'S CAFE TO:
HAUS - HOTEL AND SPA

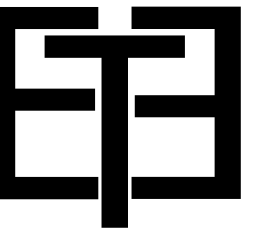
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: 1/8" = 1' - 0"

DATE: 9.3.2019

SHEET #:

ID-1.0



GENERAL CONSTRUCTION NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS NOTED OTHERWISE.
2. VERIFY ALL EXISTING DIMENSIONS IN FIELD.
3. REFER TO PARTITION SCHEDULE FOR WALL TYPES AND SHEET 6.1 FOR STANDARD PARTITION DETAILS.
4. SEE SHEET 2.3 ENLARGED PLANS FOR ADDITIONAL INFO OF RESTROOMS AND SPA WETROOMS.
5. SEE SHEET 2.2 FINISH PLAN FOR FINISH INFO AND SHEET 0.3 FOR FINISH SCHEDULE.
6. FIXTURES SHOWN FOR REFERENCE ONLY. SEE SHEET 2.1 FF&E PLAN AND SHEET 0.3 FIXTURE SCHEDULE FOR COMPLETE FIXTURE INFO.
7. REFER TO SHEET 5.0 AND 5.1 INTERIOR ELEVATIONS FOR FIXTURE, DOOR, AND WINDOW HEIGHTS.

CONSTRUCTION KEY NOTES:

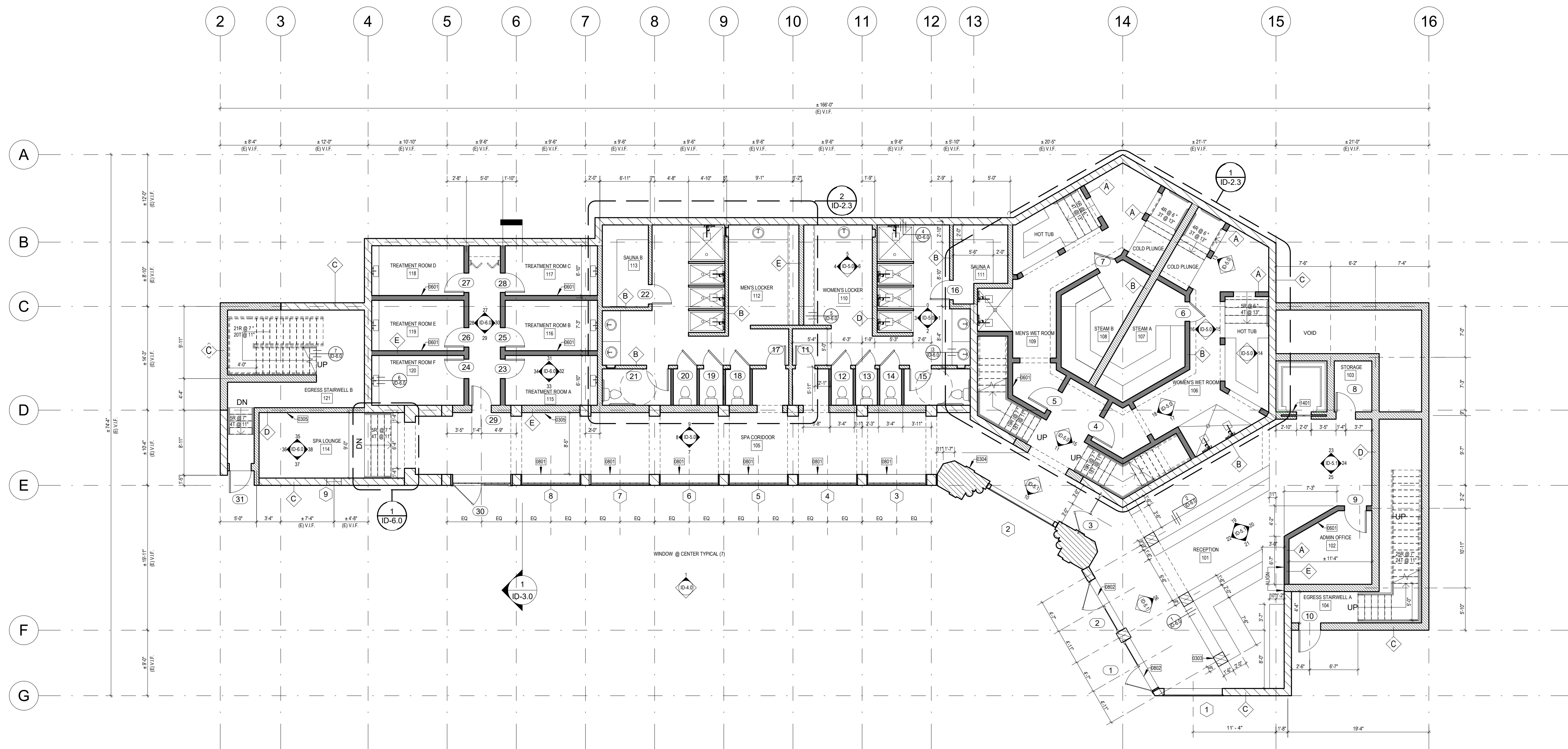
- 0300 CONCRETE
- 0301 POURED CONCRETE PER STRUCTURAL TO BE FINISH FLOOR
- 0302 CAST IN PLACE CONCRETE DESK PER INTERIOR ELEVATION
- 0303 EXISTING COLUMN PER STRUCTURAL
- 0304 EXISTING ARCH PER STRUCTURAL
- 0305 (N) CMU PER STRUCTURAL
- 0500 METALS
- 0501 IRON HANDRAIL
- 0600 WOOD, PLASTIC, COMPOSITES
- 0601 WOOD FRAMING PER STRUCTURAL
- 0601 PLYWOOD PER STRUCTURAL
- 0603 WOOD BEAMS PER STRUCTURAL
- 0800 OPENINGS
- 0801 (N) WINDOW PER SCHEDULE
- 0802 (N) DOOR PER SCHEDULE
- 0900 FINISHES
- 0901 WOOD PANEL PER SCHEDULE
- 0901 PAINT FINISH PER SCHEDULE
- 0903 TILE PER SCHEDULE
- 0904 CONCRETE FLOOR PER SCHEDULE
- 0905 MIRROR GLASS PER SCHEDULE
- 0906 SUSPENDED CEILING PER SCHEDULE
- 1000 SPECIALTIES
- 1001 TOILET PAPER DISPENSER PER SCHEDULE
- 1002 36" GRABBAR PER SCHEDULE
- 1003 48" GRABBAR PER SCHEDULE
- 1004 TOILET SEAT COVER DISPENSER PER SCHEDULE
- 1005 TOILET TISSUE DISPENSER PER SCHEDULE
- 1400 CONVEYING EQUIPMENT
- 1401 ELEVATOR CAB
- 2200 PLUMBING
- 2201 SINK PER MEP
- 2202 TOILET PER MEP
- 2203 SHOWER PER MEP
- 2204 STEAM UNIT PER MEP
- 2205 SAUNA UNIT PER MEP
- 2600 ELECTRICAL
- 2601 LIGHT FIXTURE PER SCHEDULE

WALL PARTITION SCHEDULE:

- A** NON-BEARING PARTITION
3/8" x 16 GA. METAL STUDS
24" O.C. W/ 1 LAYER OF 5/8" GYP. BOARD ON EACH SIDE.
- B** INTERIOR PLUMBING PARTITION
6" x 20 GA METAL STUDS
24" O.C. W/ 5/8" GYP. BOARD ON BOTH SIDES
- C** EXTERIOR PARTITION
6" x 20 GA METAL STUDS
24" O.C. W/ 5/8" GYP. SD. ON THE INSIDE W/ CAVITY INSULT. AND WATER RESIST. SHEAT. WEATHER RESIST. BARRIER AND EXTERIOR FINISH ON OUTSIDE.
- D** 1 - HR RATED PARTITION
2 1/2" x 25 GA METAL STUDS
24" O.C. W/ 5/8" TYPE X GYP. BOARD ON EACH SIDE.
- E** TYPICAL ACOUSTICAL PARTITION
3 5/8" x 16 GA METAL STUDS W/ 3" SOUND ATTENUATION BLANKET & (2) LAYERS OF TYPE X 5/8" GWB ON EACH SIDE.

LEGEND:

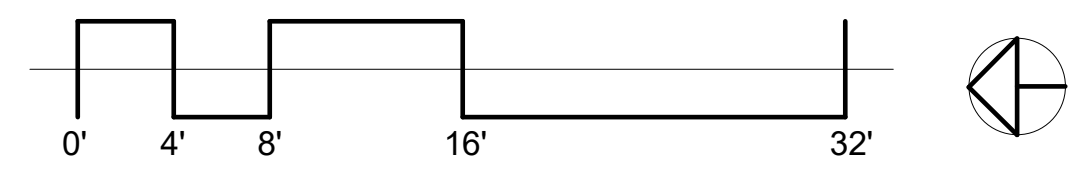
- FRAMED (E) CONSTRUCTION TO REMAIN
- FRAMED (N) PER STRUCTURAL
- CMU (E) CONSTRUCTION TO REMAIN
- CMU (N) CONSTRUCTION PER STRUCTURAL
- (N) BEAM OBJECT OUT OF VIEW
- PROJECT DETAIL ELEVATION
- WINDOW TAG
- DOOR TAG
- ROOM TAG



CONSTRUCTION PLAN

1/8" = 1' - 0"

1



CONSTRUCTION PLAN

PROPOSED REMODEL OF JOYAS CAFE TO:
HAUS - HOTEL AND SPA

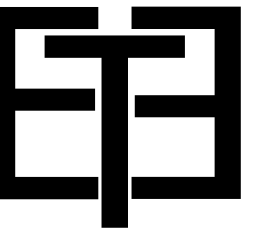
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: 1/8" = 1' - 0"

DATE: 9.3.2019

SHEET #:

ID-2.0



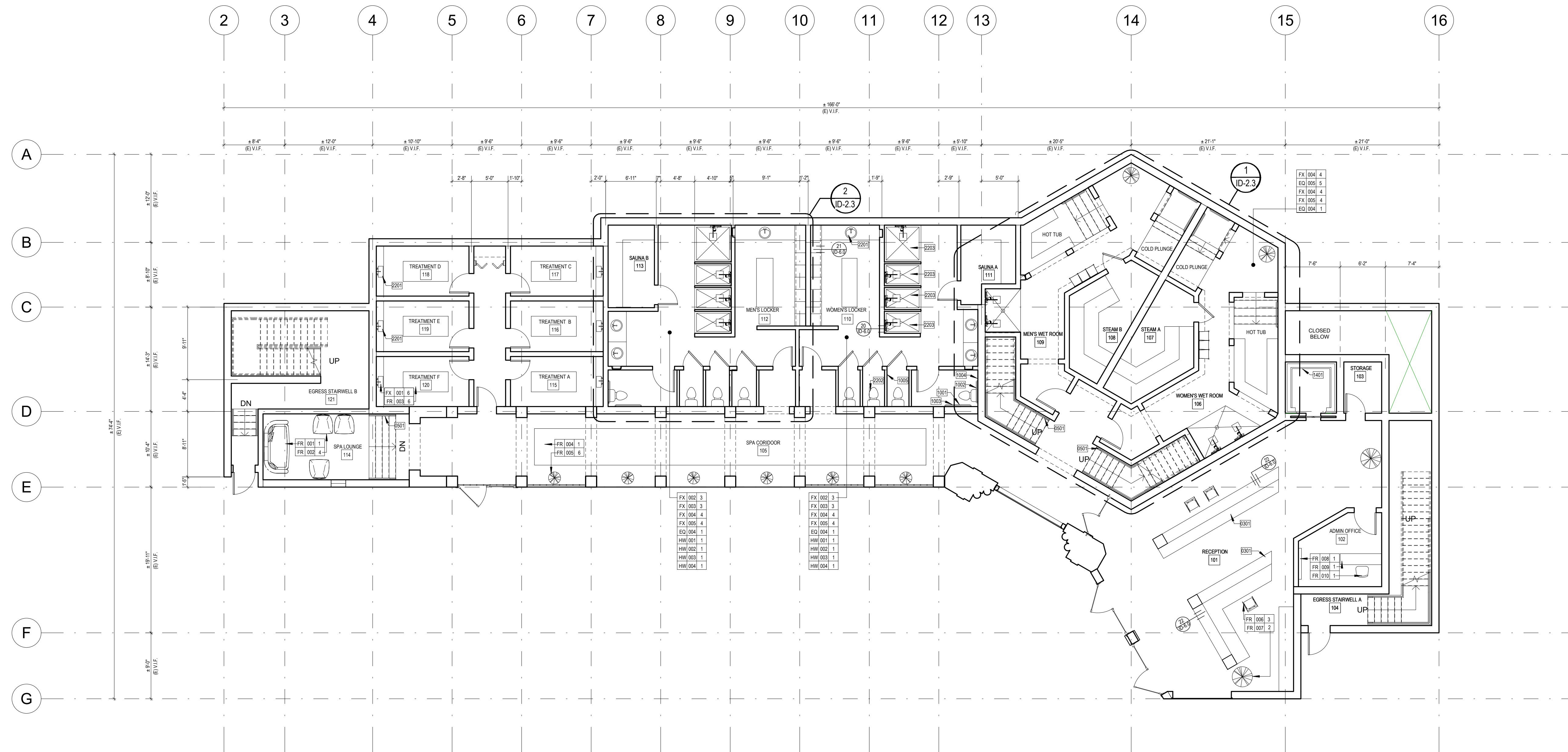
NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS NOTED OTHERWISE.
2. VERIFY ALL EXISTING DIMENSIONS IN FIELD.
3. REFER TO PARTITION SCHEDULE FOR WALL TYPES AND SHEET 6.1 FOR STANDARD PARTITION DETAILS.
4. SEE SHEET 2.3 ENLARGED PLANS FOR ADDITIONAL INFO OF RESTROOMS AND SPA WETROOMS.
5. SEE SHEET 2.2 FINISH PLAN FOR FINISH INFO AND SHEET 0.3 FOR FINISH SCHEDULE.
6. FIXTURES SHOWN FOR REFERENCE ONLY. SEE SHEET 2.1 FF&E PLAN AND SHEET 0.3 FIXTURE SCHEDULE FOR COMPLETE FIXTURE INFO.
7. REFER TO SHEET 5.0 AND 5.1 INTERIOR ELEVATIONS FOR FIXTURE, DOOR, AND WINDOW HEIGHTS.
8. COORDINATE WITH PLUMBING DRAWINGS (SHT. X-X).

KEY NOTES:

- 0300 CONCRETE
- 0301 POURED CONCRETE PER STRUCTURAL TO BE FINISH FLOOR
- 0302 CAST IN PLACE CONCRETE DESK PER INTERIOR ELEVATION
- 0303 EXISTING COLUMN PER STRUCTURAL
- 0304 EXISTING ARCH PER STRUCTURAL
- 0305 (N) CMU PER STRUCTURAL
- 0500 METALS
- 0501 IRON HANDRAIL
- 0600 WOOD, PLASTIC, COMPOSITES
- 0601 WOOD FRAMING PER STRUCTURAL
- 0601 PLYWOOD PER STRUCTURAL
- 0603 WOOD BEAMS PER STRUCTURAL
- 0800 OPENINGS
- 0801 (N) WINDOW PER SCHEDULE
- 0802 (N) DOOR PER SCHEDULE
- 0900 FINISHES
- 0901 WOOD PANEL PER SCHEDULE
- 0901 PAINT FINISH PER SCHEDULE
- 0903 TILE PER SCHEDULE
- 0904 CONCRETE FLOOR PER SCHEDULE
- 0905 MIRROR GLASS PER SCHEDULE
- 0905 SUSPENDED CEILING PER SCHEDULE
- 1000 SPECIALTIES
- 1001 TOILET PAPER DISPENSER PER SCHEDULE
- 1002 36" GRABBAR PER SCHEDULE
- 1003 48" GRABBAR PER SCHEDULE
- 1004 TOILET SEAT COVER DISPENSER PER SCHEDULE
- 1005 TOILET PARTITIONS
- 1400 CONVEYING EQUIPMENT
- 1401 ELEVATOR CAB
- 2200 PLUMBING
- 2201 SINK PER MEP
- 2202 TOILET PER MEP
- 2203 SHOWER PER MEP
- 2204 STEAM UNIT PER MEP
- 2205 SALINA UNIT PER MEP
- 2600 ELECTRICAL
- 2601 LIGHT FIXTURE PER SCHEDULE

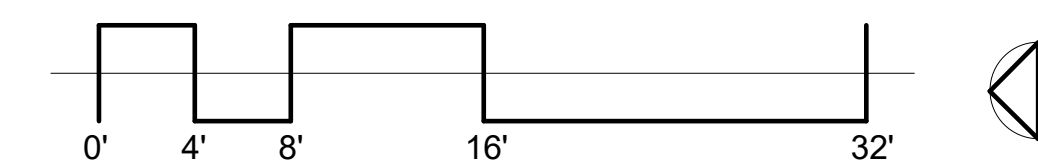
LEGEND:



FIXTURES, FURNISHINGS, AND EQUIPMENT PLAN

1/8" = 1' - 0"

1



FF&E PLAN

PROPOSED REMODEL OF JOY'S CAFE TO:
HAUS- HOTEL AND SPA

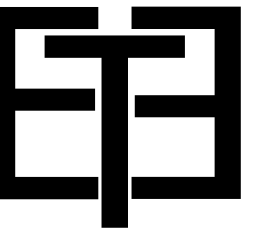
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: 1/8" = 1' - 0"

DATE: 9.3.2019

SHEET #:

ID-2.1



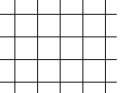
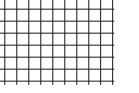

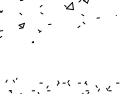
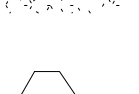
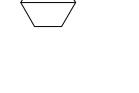


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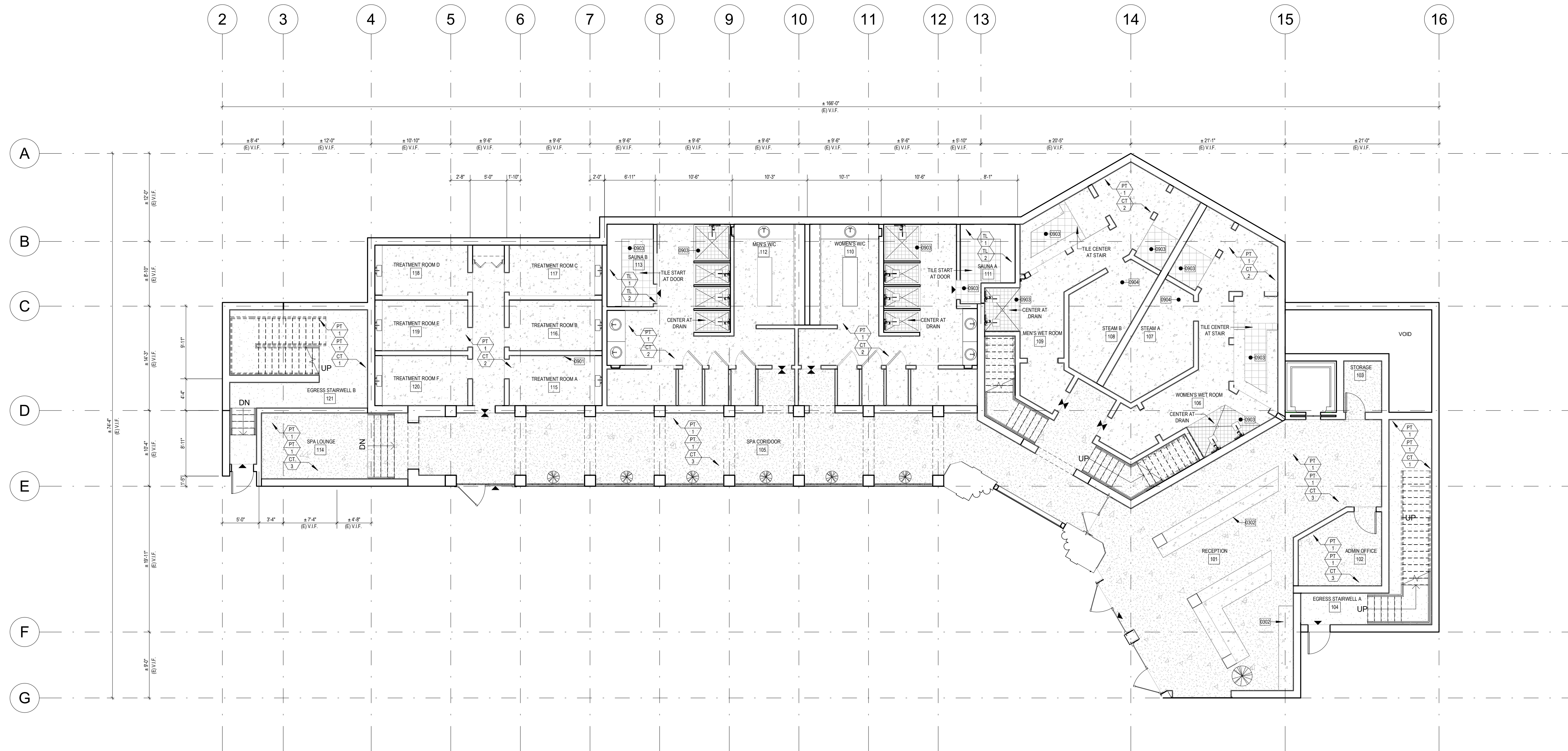
- 1. SEE INTERIOR ELEVATIONS AS INDICATED FOR ADDITIONAL FINISH LOCATIONS.
- 2. SEE RCP FOR FINISH LOCATIONS AT CEILING.
- 3. SEE FINISH SCHEDULE (SHT 0.3) FOR COMPLETE FINISH INFORMATION.

KEY NOTES:

- 0300 CONCRETE**
 - 0301 POURED CONCRETE PER STRUCTURAL TO BE FINISH FLOOR
 - 0302 CAST IN PLACE CONCRETE DESK PER INTERIOR ELEVATION
 - 0303 EXISTING COLUMN PER STRUCTURAL
 - 0304 EXISTING ARCH PER STRUCTURAL
 - 0305 (N) CMU PER STRUCTURAL
- 0500 METALS**
 - 0501 IRON HANDRAIL
- 0600 WOOD, PLASTIC, COMPOSITES**
 - 0601 WOOD FRAMING PER STRUCTURAL
 - 0602 PL WOOD PER STRUCTURAL
 - 0603 WOOD BEAMS PER STRUCTURAL
- 0800 OPENINGS**
 - 0801 (N) WINDOW PER SCHEDULE
 - 0802 (N) DOOR PER SCHEDULE
- 0900 FINISHES**
 - 0901 WOOD PANEL PER SCHEDULE
 - 0902 PAINT FINISH PER SCHEDULE
 - 0903 TILE PER SCHEDULE
 - 0904 CONCRETE FLOOR PER SCHEDULE
 - 0905 MIRROR GLASS PER SCHEDULE
 - 0906 SUSPENDED CEILING PER SCHEDULE
- 1000 SPECIALTIES**
 - 1001 TOILET PAPER DISPENSER PER SCHEDULE
 - 1002 36" GRABBAR PER SCHEDULE
 - 1003 48" GRABBAR PER SCHEDULE
 - 1004 TOILET SEAT COVER DISPENSER PER SCHEDULE
 - 1005 TOILET PARTITIONS
- 1400 CONVEYING EQUIPMENT**
 - 1401 ELEVATOR CAB
- 2200 PLUMBING**
 - 2201 SINK PER MEP
 - 2202 TOILET PER MEP
 - 2203 SHOWER PER MEP
 - 2204 STEAM UNIT PER MEP
 - 2205 SAUNA UNIT PER MEP
- 2600 ELECTRICAL**
 - 2601 LIGHT FIXTURE PER SCHEDULE

LEGEND:

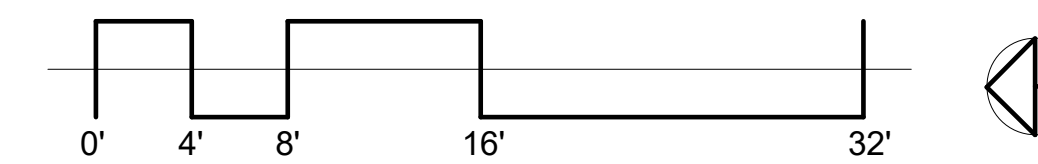
-  TILE PER SCHEDULE
-  TILE PER SCHEDULE
-  POURED IN PLACE CONCRETE PER SCHEDULE
-  POURED IN PLACE CONCRETE PER SCHEDULE
-  POURED IN PLACE CONCRETE PER SCHEDULE
-  FINISH PER SCHEDULE
-  THRESHOLD
-  TRANSITION



FINISH PLAN

1/8" = 1'-0"

1



FINISH PLAN

PROPOSED REMODEL OF JOY'S CAFE TO:
HAUS- HOTEL AND SPA

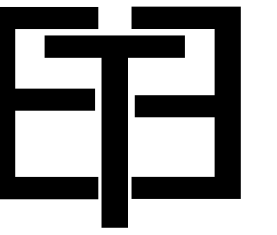
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: 1/8" = 1'-0"

DATE: 9.3.2019

SHEET #:

ID-2.2

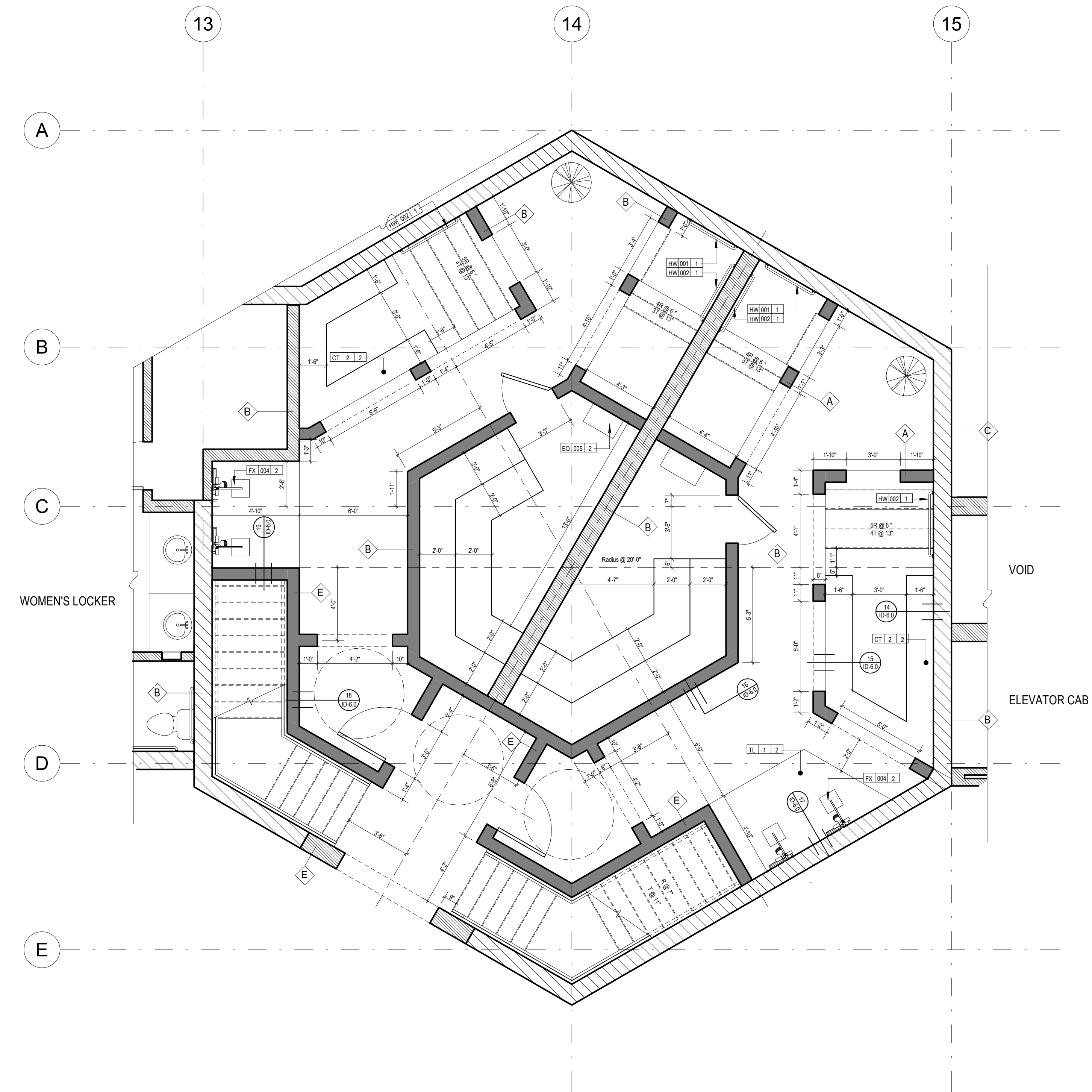


- NOTES:**
1. ALL DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS NOTED OTHERWISE.
 2. VERIFY ALL EXISTING DIMENSIONS IN FIELD.
 3. REFER TO PARTITION SCHEDULE FOR WALL TYPES AND SHEET # ___ FOR STANDARD PARTITION DETAILS.
 4. SEE SHEET ___ ENLARGED PLANS FOR ADDITIONAL INFO OF RESTROOMS AND SPA WETROOMS.
 5. SEE SHEET ___ FINISH PLAN FOR FINISH INFO AND SHEET ___ FOR FINISH SCHEDULE.
 6. FIXTURES SHOWN FOR REFERENCE ONLY. SEE SHEET ___ FF&E PLAN AND SHEET ___ FIXTURE SCHEDULE FOR COMPLETE FIXTURE INFO.
 7. REFER TO SHEET ___ INTERIOR ELEVATIONS FOR FIXTURE, DOOR, AND WINDOW HEIGHTS.

- CONSTRUCTION KEY NOTES:**
- 0300 CONCRETE**
 - 0301 POURED CONCRETE PER STRUCTURAL TO BE FINISH FLOOR
 - 0302 CAST IN PLACE CONCRETE DESK PER INTERIOR ELEVATION
 - 0303 EXISTING COLUMN PER STRUCTURAL
 - 0304 EXISTING ARCH PER STRUCTURAL
 - 0305 (N) CMU PER STRUCTURAL
 - 0500 METALS**
 - 0501 IRON HANDRAIL
 - 0600 WOOD, PLASTIC, COMPOSITES**
 - 0601 WOOD FRAMING PER STRUCTURAL
 - 0601 PLYWOOD PER STRUCTURAL
 - 0603 WOOD BEAMS PER STRUCTURAL
 - 0800 OPENINGS**
 - 0801 (N) WINDOW PER SCHEDULE
 - 0802 (N) DOOR PER SCHEDULE
 - 0900 FINISHES**
 - 0901 WOOD PANEL PER SCHEDULE
 - 0901 PAINT FINISH PER SCHEDULE
 - 0903 TILE PER SCHEDULE
 - 0904 CONCRETE FLOOR PER SCHEDULE
 - 0905 MIRROR GLASS PER SCHEDULE
 - 0906 SUSPENDED CEILING PER SCHEDULE
 - 1000 SPECIALTIES**
 - 1001 TOILET PAPER DISPENSER PER SCHEDULE
 - 1002 36" GRABBAR PER SCHEDULE
 - 1003 48" GRABBAR PER SCHEDULE
 - 1004 TOILET SEAT COVER DISPENSER PER SCHEDULE
 - 1005 TOILET PARTITIONS
 - 1400 CONVEYING EQUIPMENT**
 - 1401 ELEVATOR CAB
 - 2200 PLUMBING**
 - 2201 SINK PER MEP
 - 2202 TOILET PER MEP
 - 2203 SHOWER PER MEP
 - 2204 STEAM UNIT PER MEP
 - 2205 SAUNA UNIT PER MEP
 - 2600 ELECTRICAL**
 - 2601 LIGHT FIXTURE PER SCHEDULE

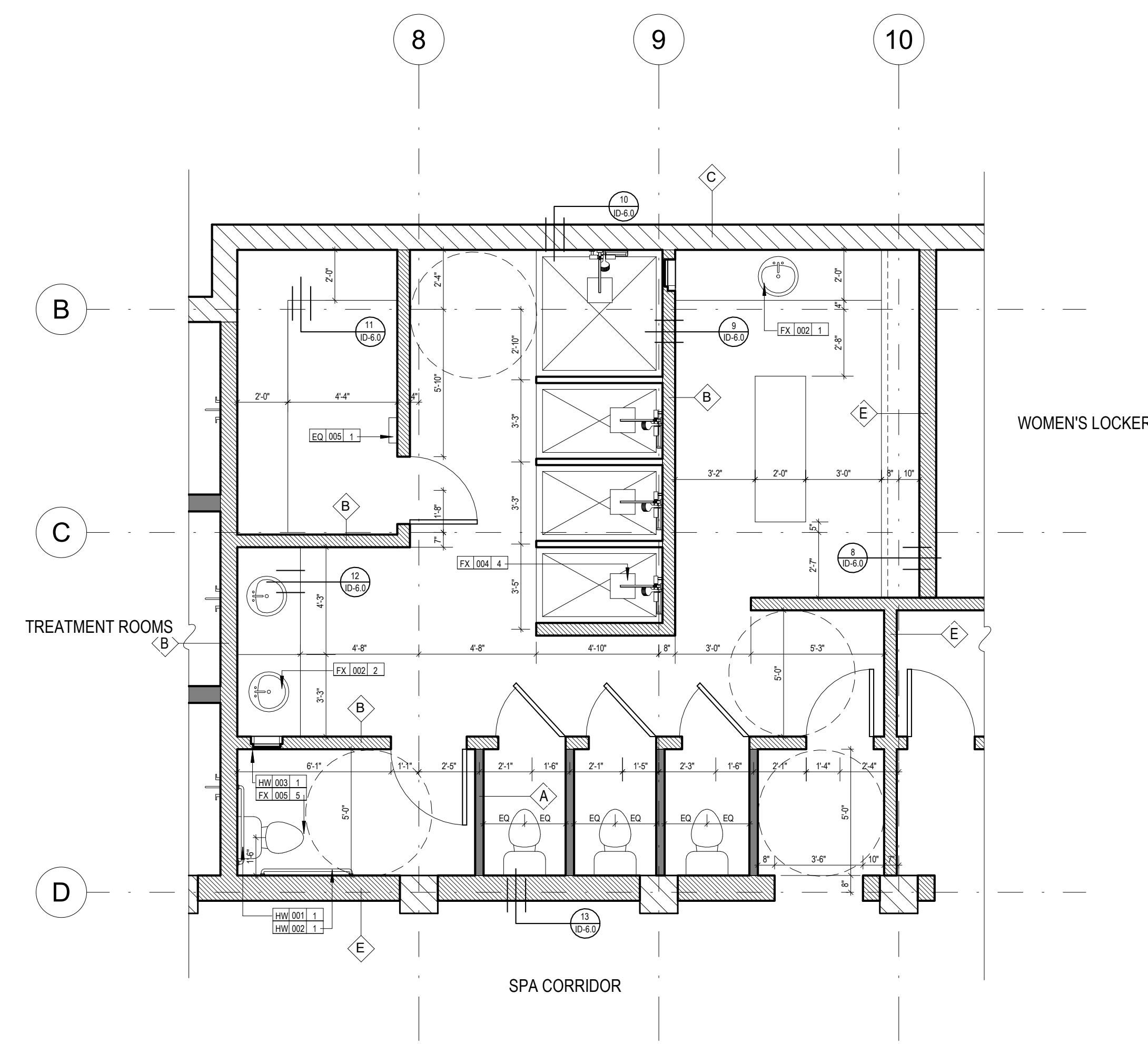
- WALL PARTITION SCHEDULE:**
- A** NON-BEARING PARTITION
3 5/8" x 16 GA. METAL STUDS
24" O.C. W/ 1 LAYER OF 5/8" GYP. BOARD ON EACH SIDE.
 - B** INTERIOR PLUMBING PARTITION
6" x 20 GA METAL STUDS
24" O.C. W/ 5/8" GYP. BOARD ON BOTH SIDES
 - C** EXTERIOR PARTITION
6" x 20 GA METAL STUDS
24" O.C. W/ 5/8" GYP. BD. ON THE INSIDE W/ CAVITY INSUL. AND WATER RESIST. SHEAT. WEATHER RESIST. BARRIER AND EXTERIOR FINISH ON OUTSIDE.
 - D** 1-HR RATED PARTITION
2 1/2" x 25 GA METAL STUDS
24" O.C. W/ 5/8" TYPE X GYP. BOARD ON EACH SIDE.
 - E** TYPICAL ACOUSTICAL PARTITION
3 5/8" x 16 GA METAL STUDS W/ 3" SOUND ATTENUATION BLANKET
&(2) LAYERS OF TYPE X 5/8" GMB ON EACH SIDE.

- LEGEND:**
- FRAMED (E) CONSTRUCTION TO REMAIN
 - FRAMED (N) PER STRUCTURAL
 - CMU (E) CONSTRUCTION TO REMAIN
 - CMU (N) CONSTRUCTION PER STRUCTURAL
 - (N) BEAM OBJECT OUT OF VIEW
 - PROJECT DETAIL ELEVATION
 - WINDOW TAG
 - DOOR TAG
 - ROOM TAG



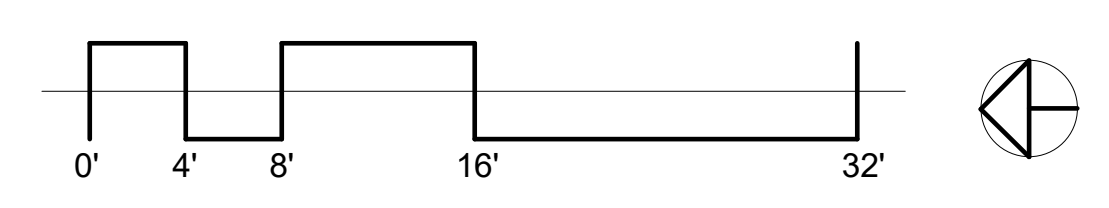
ENLARGED PLAN AT SPA WET ROOM
1/4" = 1'-0"

2



ENLARGED PLAN AT SPA BATHROOM
1/4" = 1'-0"

1



ENLARGED PLANS

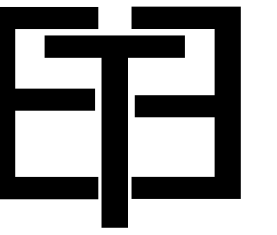
PROPOSED REMODEL OF JOY'S CAFE TO:
HAUS - HOTEL AND SPA

17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: 1/4" = 1'-0"

DATE: 9.3.2019

SHEET #:
ID-2.3



NOTES:

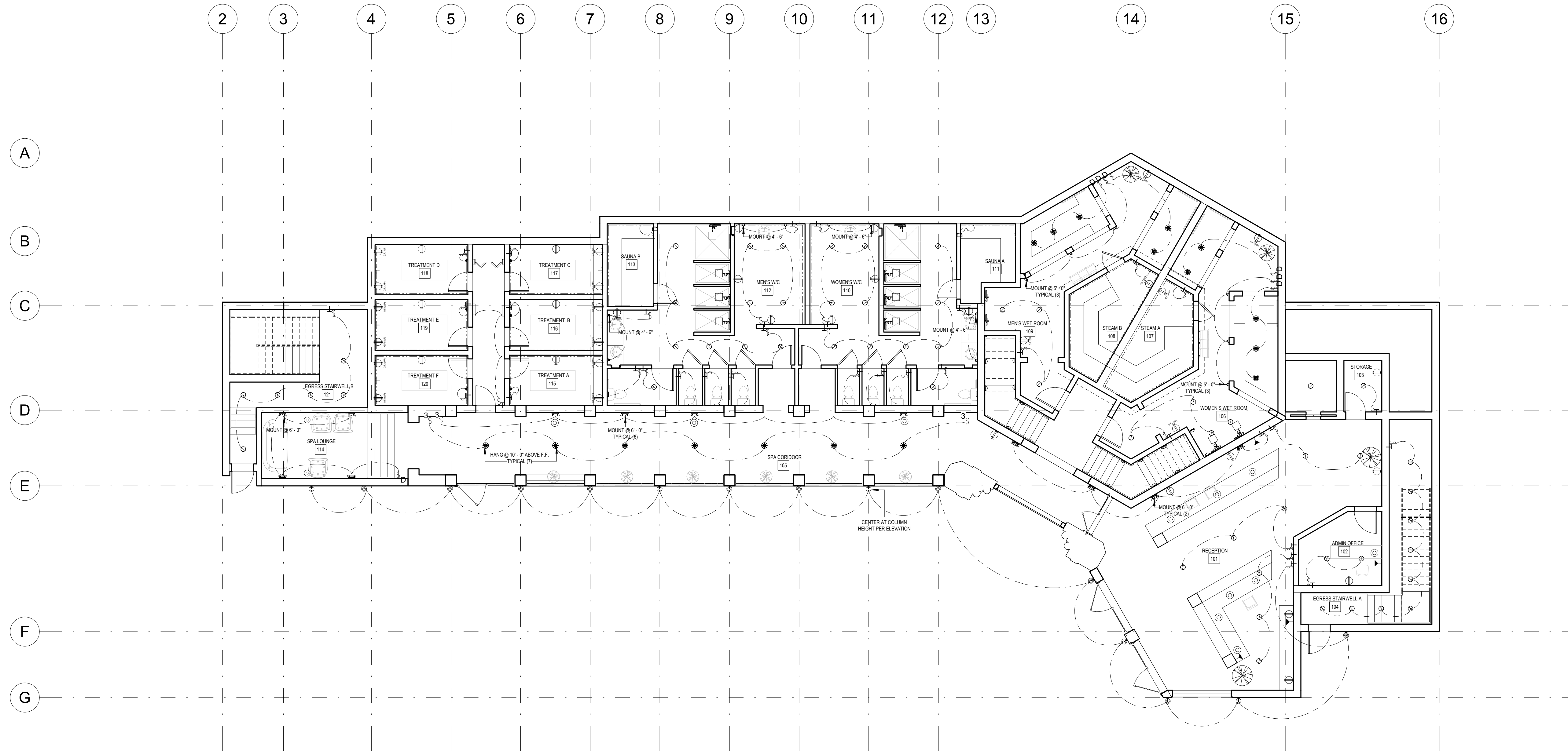
- 1. SEE RCP FOR LIGHTING LOCATIONS AT CEILING.
- 2. SEE FIXTURE SCHEDULE (ID-0-3) FR FIXTURE INFORMATON.
- 3. SEE AND COORDINATE WITH ELECTRICAL DRAWINGS (SHT X-X) FOR ALL OTHER ELECTRICAL INFORMATION.

KEY NOTES:

- 0300 CONCRETE**
- 0301 POURED CONCRETE PER STRUCTURAL TO BE FINISH FLOOR
- 0302 CAST IN PLACE CONCRETE DECK PER INTERIOR ELEVATION
- 0303 EXISTING COLUMN PER STRUCTURAL
- 0304 EXISTING ARCH PER STRUCTURAL
- 0305 (N) CMU PER STRUCTURAL
- 0500 METALS**
- 0501 IRON HANDRAIL
- 0600 WOOD, PLASTIC, COMPOSITES**
- 0601 WOOD FRAMING PER STRUCTURAL
- 0601 PLYWOOD PER STRUCTURAL
- 0603 WOOD BEAMS PER STRUCTURAL
- 0800 OPENINGS**
- 0801 (N) WINDOW PER SCHEDULE
- 0802 (N) DOOR PER SCHEDULE
- 0900 FINISHES**
- 0901 WOOD PANEL PER SCHEDULE
- 0901 PAINT FINISH PER SCHEDULE
- 0903 TILE PER SCHEDULE
- 0904 CONCRETE FLOOR PER SCHEDULE
- 0905 MIRROR GLASS PER SCHEDULE
- 0906 SUSPENDED CEILING PER SCHEDULE
- 1000 SPECIALTIES**
- 1001 TOILET PAPER DISPENSER PER SCHEDULE
- 1002 36" GRABBAR PER SCHEDULE
- 1003 48" GRABBAR PER SCHEDULE
- 1004 TOILET SEAT COVER DISPENSER PER SCHEDULE
- 1005 TOILET PARTITIONS
- 1400 CONVEYING EQUIPMENT**
- 1401 ELEVATOR CAB
- 2200 PLUMBING**
- 2201 SINK PER MEP
- 2202 TOILET PER MEP
- 2203 SHOWER PER MEP
- 2204 STEAM UNIT PER MEP
- 2205 SAUNA UNIT PER MEP
- 2600 ELECTRICAL**
- 2601 LIGHT FIXTURE PER SCHEDULE

LEGEND:

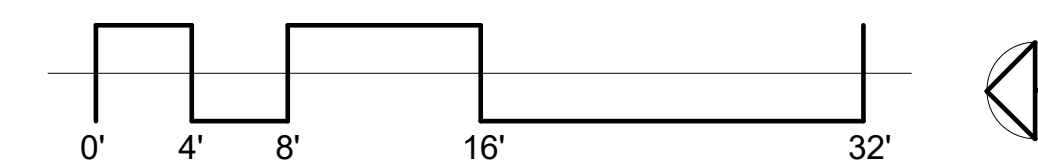
- BASIC SWITCH
- DIMMER SWITCH
- THREE WAY SWITCH
- FLOOR MOUNTED DUPLEX OUTLET
- WALL MOUNTED DUPLEX OUTLET
- WALL MOUNTED G.F.I. (WP) OUTLET
- WALL MOUNTED TELEPHONE OUTLET
- DECORATIVE WALL SCONCE
- EXTERIOR WALL SCONCE
- RECESSED CAN
- PENDANT
- LED LIGHT STRIP



POWER AND COMMUNICATION PLAN

1/8" = 1' - 0"

1



POWER AND COMMUNICATION PLAN

PROPOSED REMODEL OF JOYAS CAFE TO:
HAUS- HOTEL AND SPA

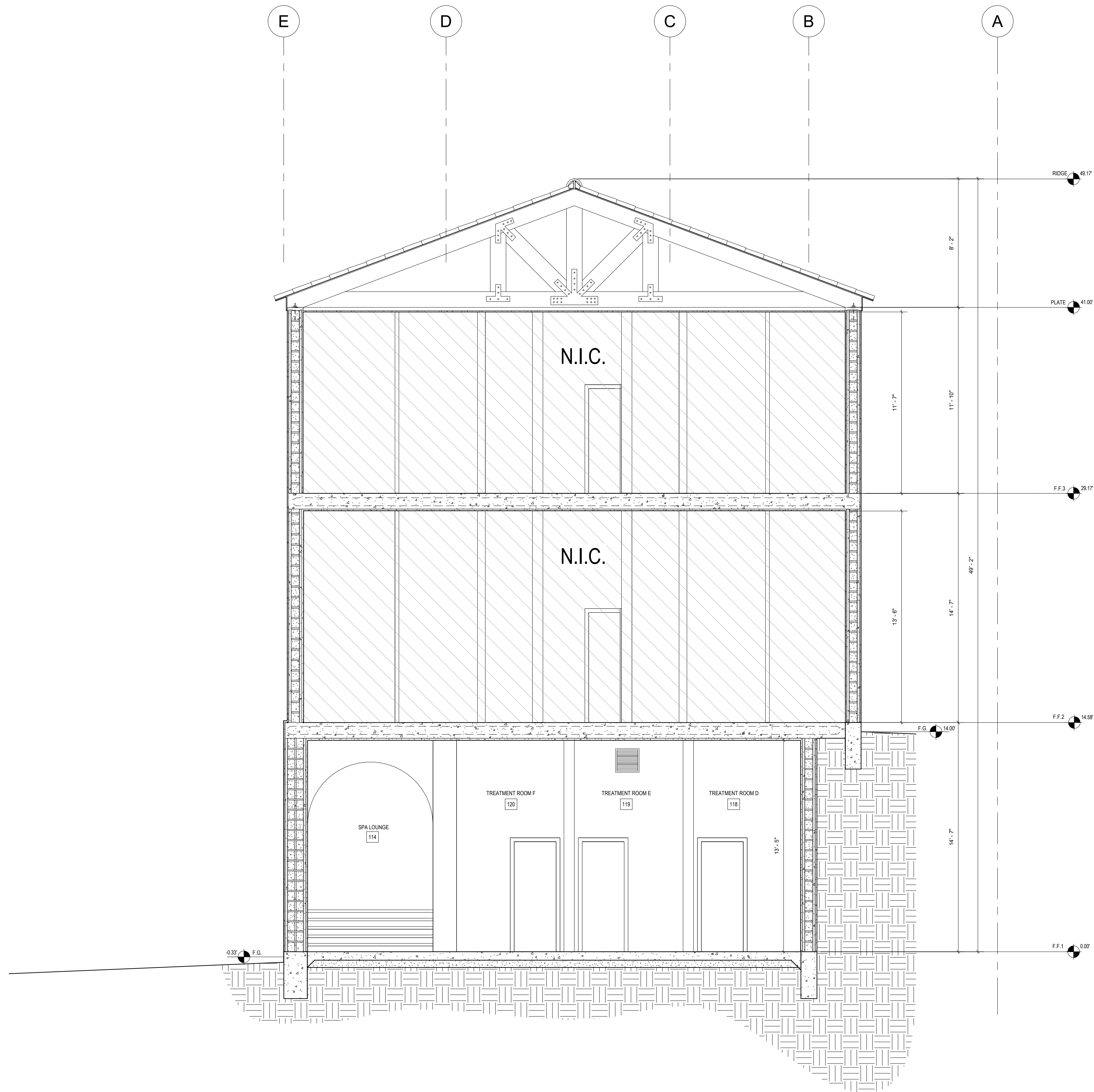
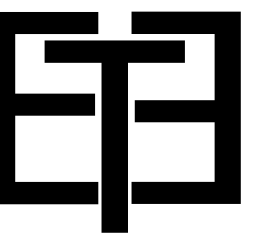
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: 1/8" = 1'-0"

DATE: 9.3.2019

SHEET #:

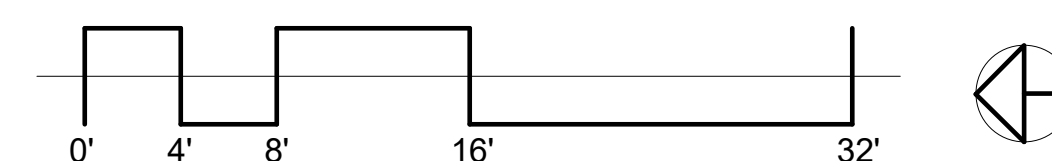
EL-1.1



BUILDING SECTION

1/4" = 1' - 0"

1



NOTES:

CONSTRUCTION KEY NOTES:

- 0300 CONCRETE**
- 0301 POURED CONCRETE PER STRUCTURAL TO BE FINISH FLOOR
- 0302 CAST IN PLACE CONCRETE DESK PER INTERIOR ELEVATION
- 0303 EXISTING COLUMN PER STRUCTURAL
- 0304 EXISTING ARCH PER STRUCTURAL
- 0305 (N) CMU PER STRUCTURAL
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- 2204 STEAM UNIT PER MEP
- 2205 SAUNA UNIT PER MEP
- 2600 ELECTRICAL**
- 2601 LIGHT FIXTURE PER SCHEDULE

WALL PARTITION SCHEDULE:

- A** NON-BEARING PARTITION
3 5/8" x 16 GA METAL STUDS
24" O.C. W/ 1 LAYER OF 5/8" GYP.
BOARD ON EACH SIDE.
- B** INTERIOR PLUMBING PARTITION
6" x 20 GA METAL STUDS
24" O.C. W/ 5/8" GYP. BOARD
ON BOTH SIDES
- C** EXTERIOR PARTITION
6" x 20 GA METAL STUDS
24" O.C. W/ 5/8" GYP. BD. ON THE
INSIDE W/ CAVITY INSULT. AND
WATER RESIST. SHEAT WEATHER
RESIST. BARRIER AND EXTERIOR
FINISH ON OUTSIDE.
- D** 1 - HR RATED PARTITION
2 1/2" x 25 GA METAL STUDS
24" O.C. W/ 5/8" TYPE X GYP.
BOARD ON EACH SIDE.
- E** TYPICAL ACOUSTICAL PARTITION
3 5/8" x 16 GA METAL STUDS W/ 3"
SOUND ATTENUATION BLANKET
& (2) LAYERS OF TYPE X 5/8" GWB
ON EACH SIDE.

LEGEND:

- SAND PER SCHEDULE
- CONCRETE PER SCHEDULE
- EARTH PER SCHEDULE
- LEVEL MARKER

BUILDING SECTION

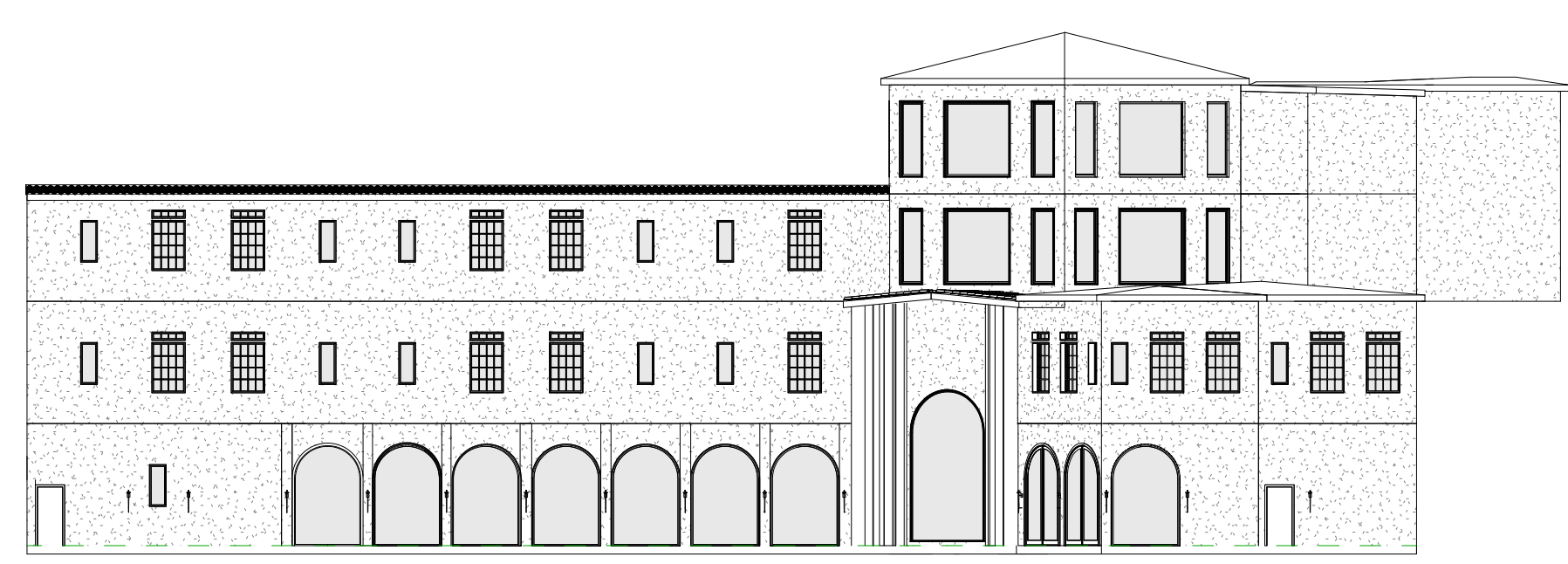
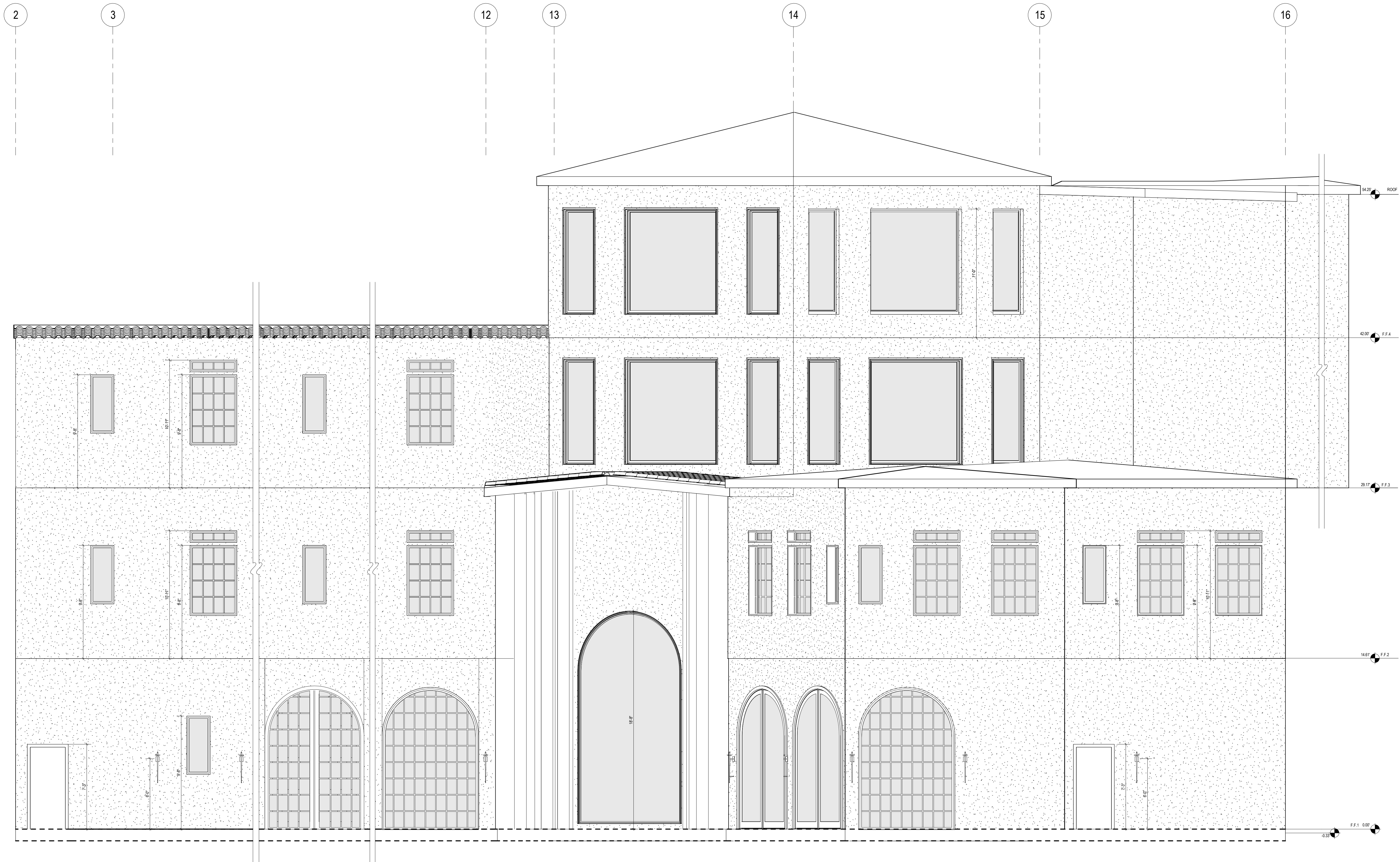
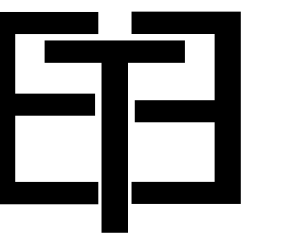
PROPOSED REMODEL OF JOYAS CAFE TO:
HAUS- HOTEL AND SPA

17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: 1/4" = 1' - 0"

DATE: 9.3.2019

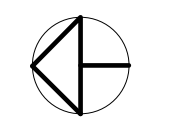
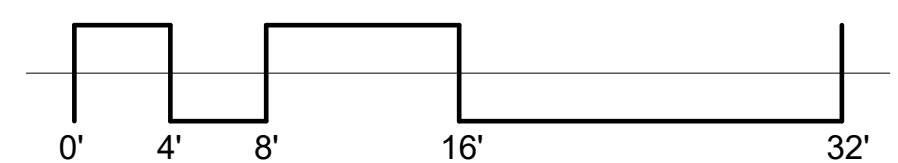
SHEET #:
ID-3.0



BUILDING ELEVATION - EAST

1/4" = 1' - 0"

1



BUILDING ELEVATION

PROPOSED REMODEL OF JOYAS CAFE TO:
HAUS- HOTEL AND SPA

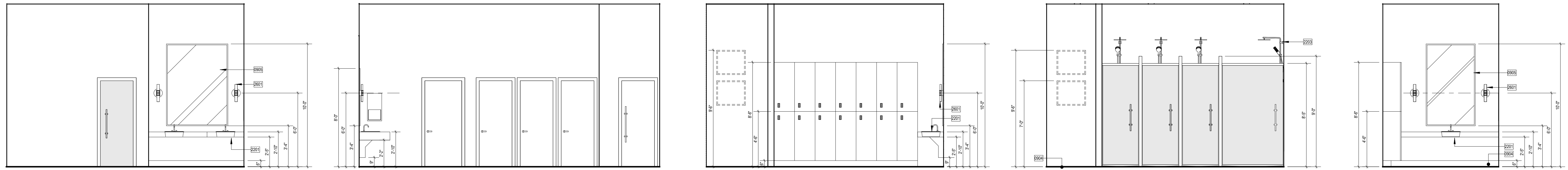
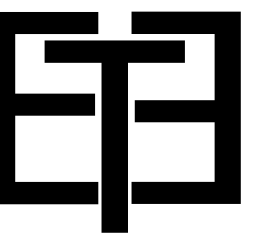
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: 1/4" = 1' - 0"

DATE: 9.3.2019

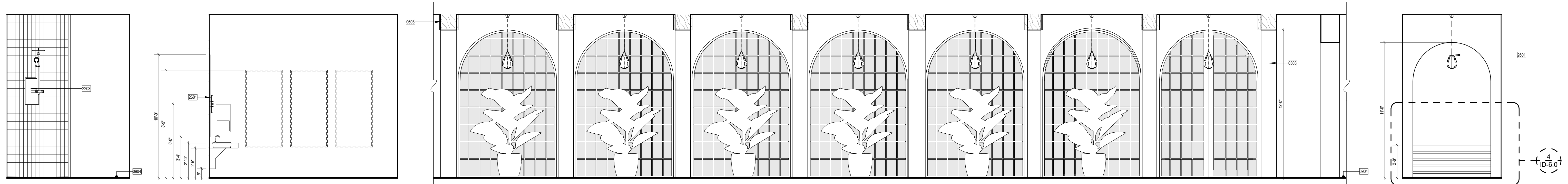
SHEET #:

ID-4.0



BATHROOM

1/4" = 1' - 0"

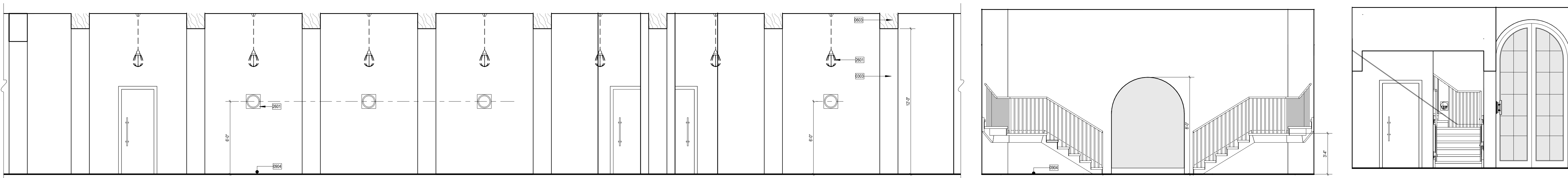


BATHROOM

1/4" = 1' - 0"

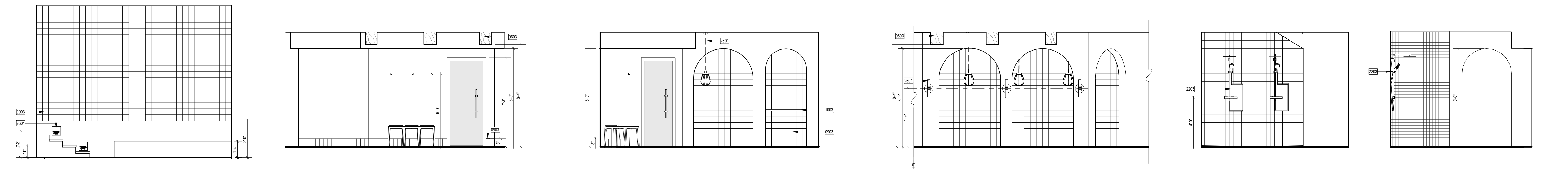
SPA CORRIDOR

1/4" = 1' - 0"



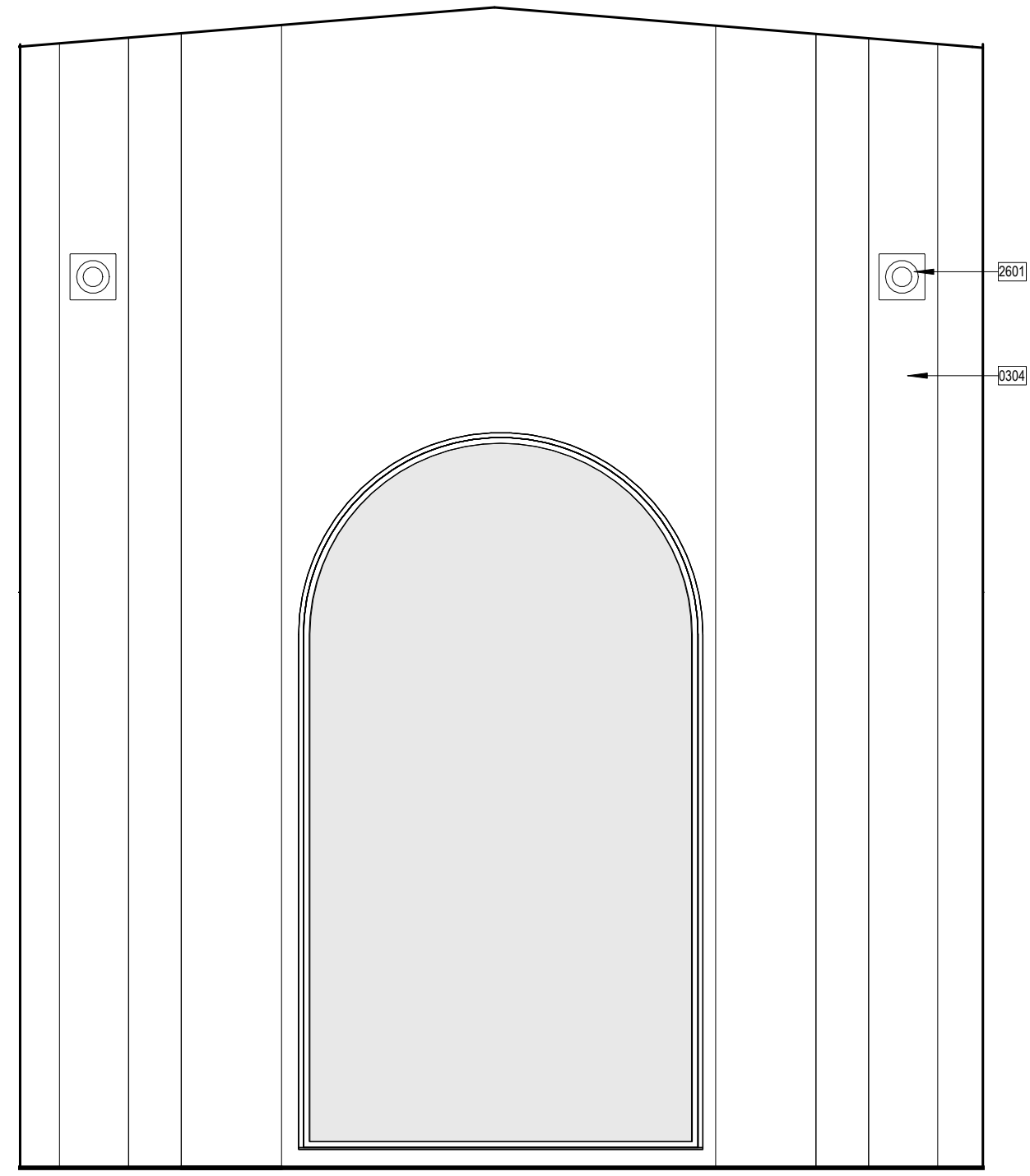
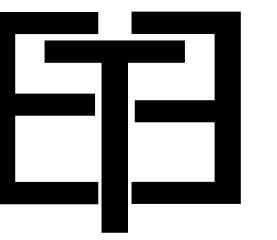
SPA CORRIDOR

1/4" = 1' - 0"

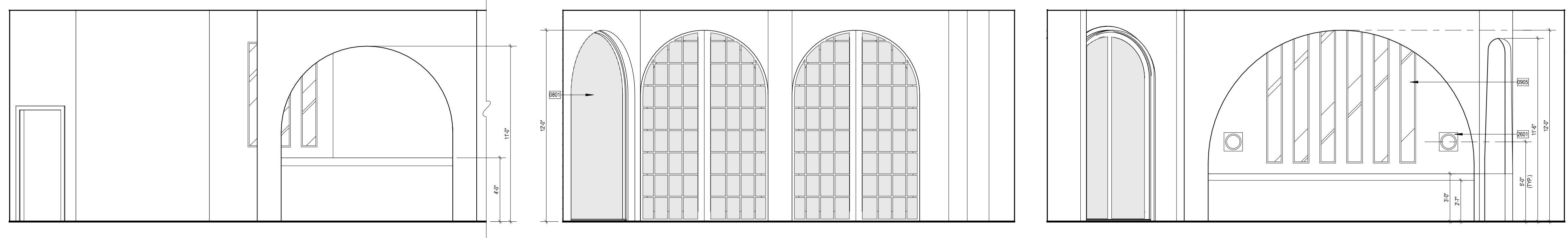


WET ROOM

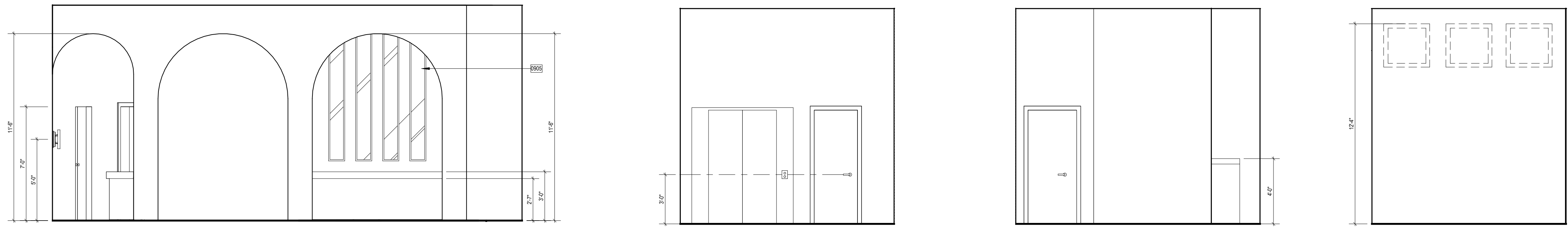
1/4" = 1' - 0"



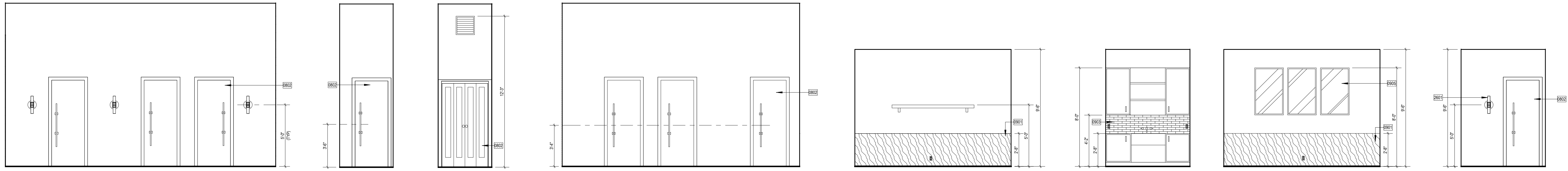
SPA CORRIDOR
1/4" = 1' - 0"



RECEPTION
1/4" = 1' - 0"

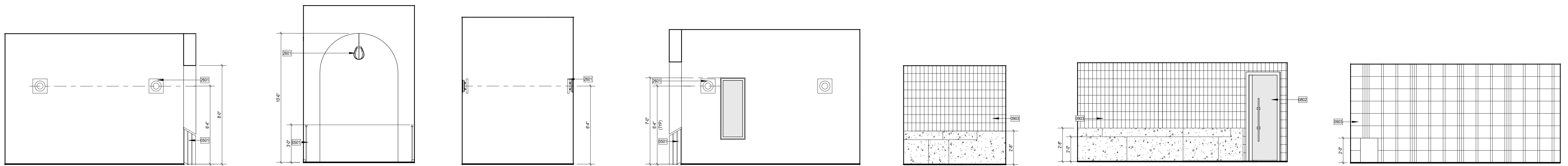


RECEPTION
1/4" = 1' - 0"



TREATMENT HALLWAY
1/4" = 1' - 0"

TREATMENT ROOM
1/4" = 1' - 0"



SPA LOUNGE
1/4" = 1' - 0"

STEAM ROOM
1/4" = 1' - 0"

INTERIOR ELEVATIONS

PROPOSED REMODEL OF JOYAS CAFE TO:
HAUS- HOTEL AND SPA

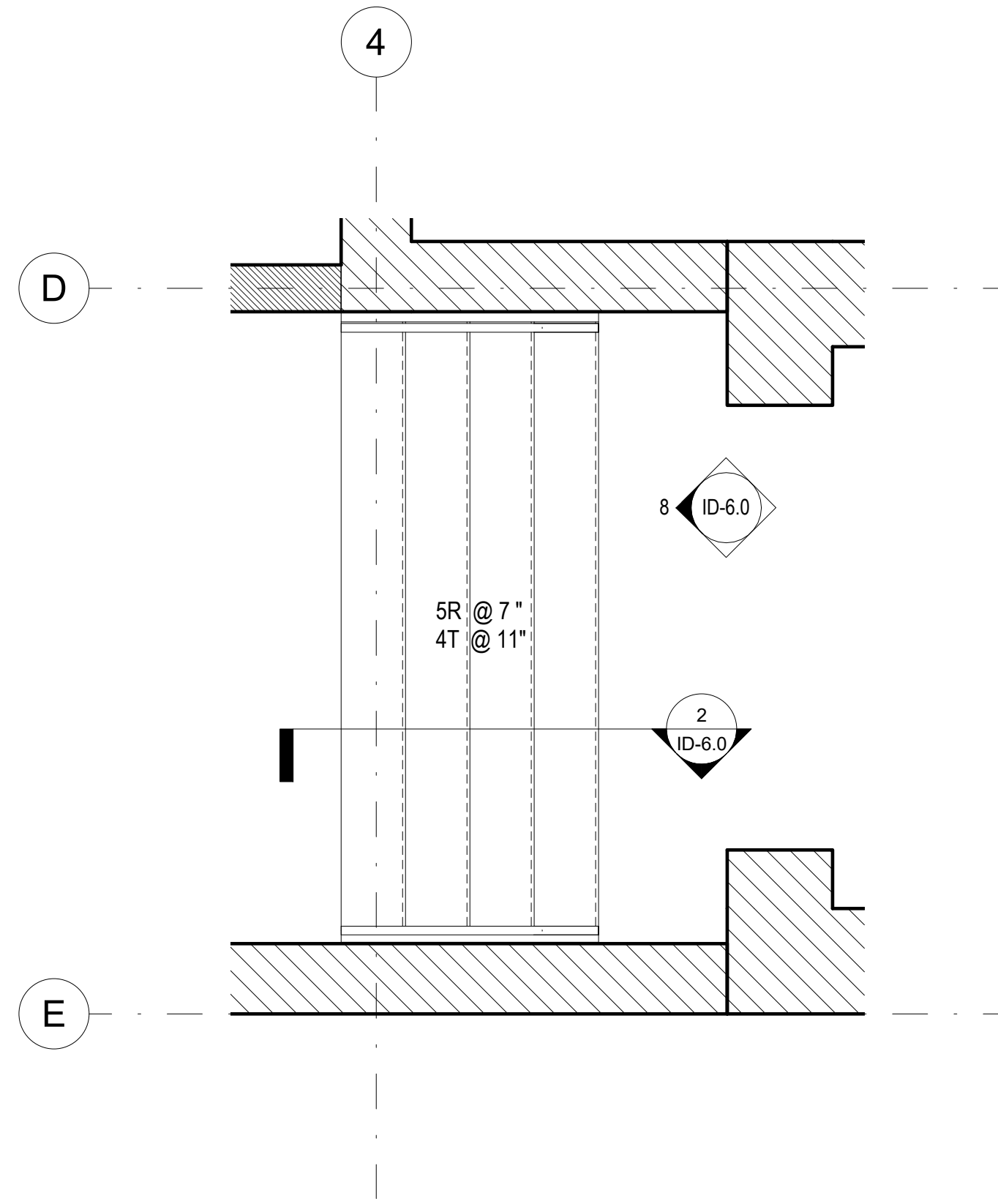
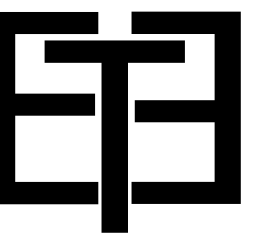
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: 1/4" = 1' - 0"

DATE: 9.3.2019

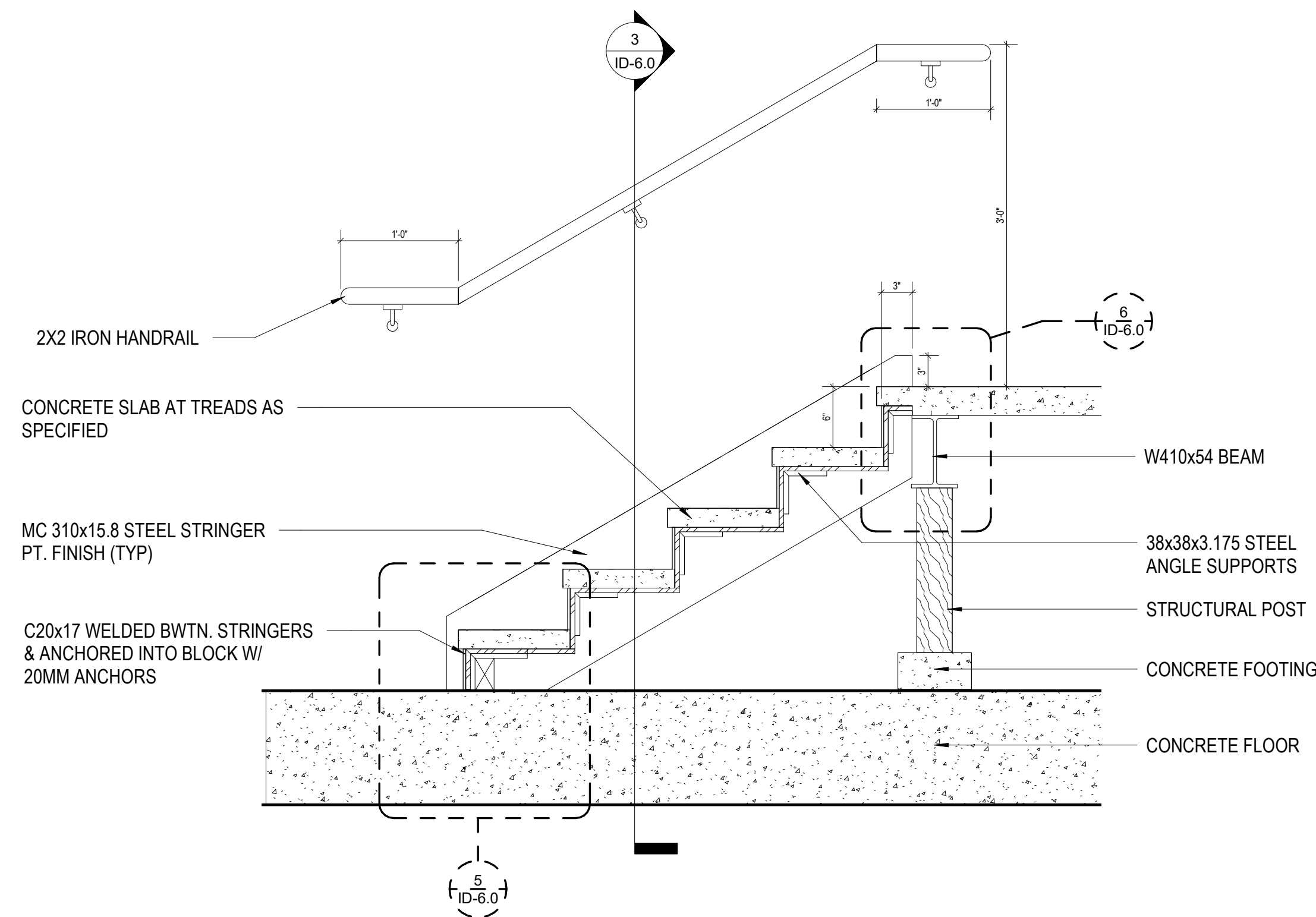
SHEET #:

ID-5.1



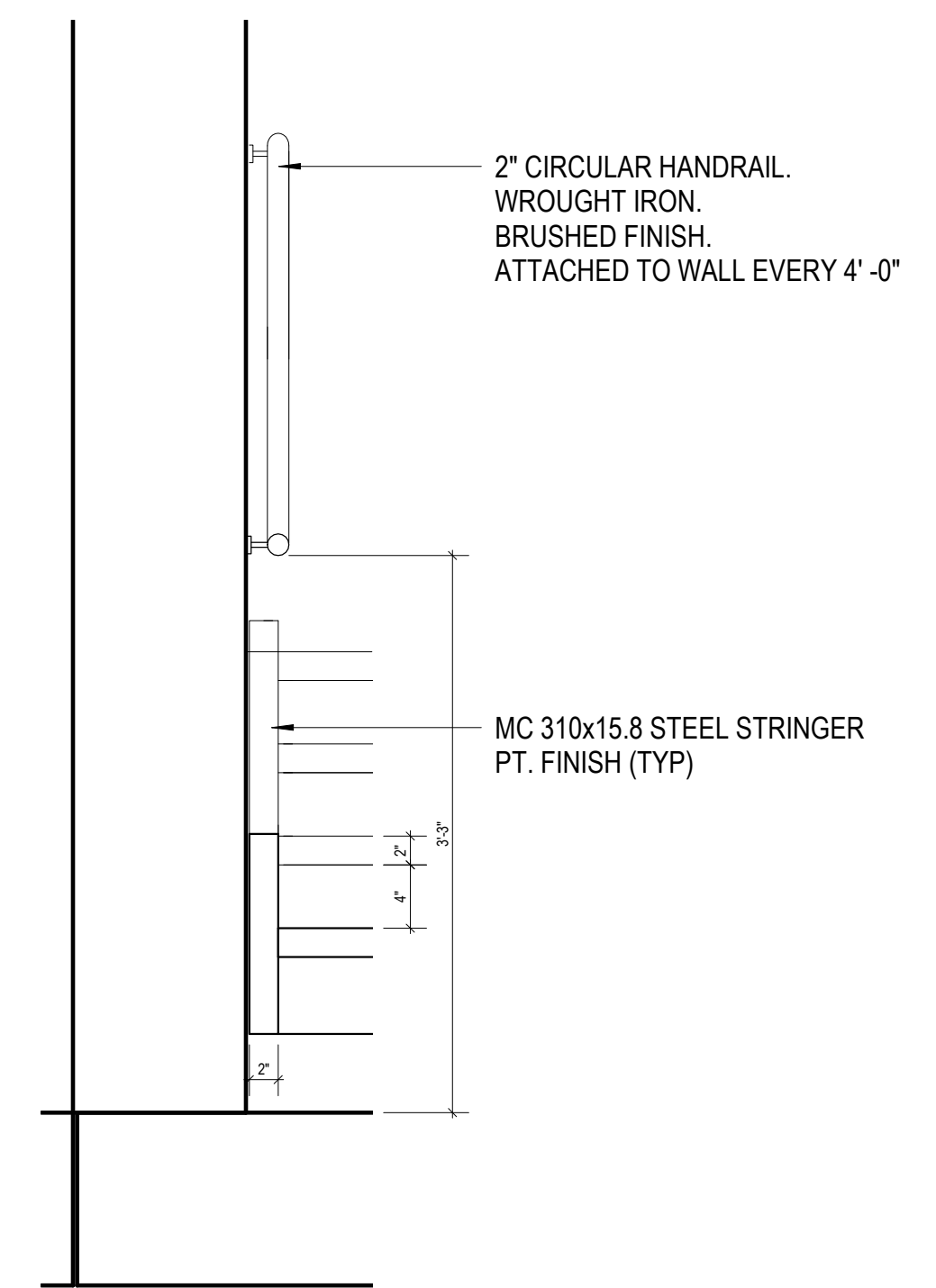
ENLARGED PLAN AT STAIR
1/2" = 1' - 0"

1



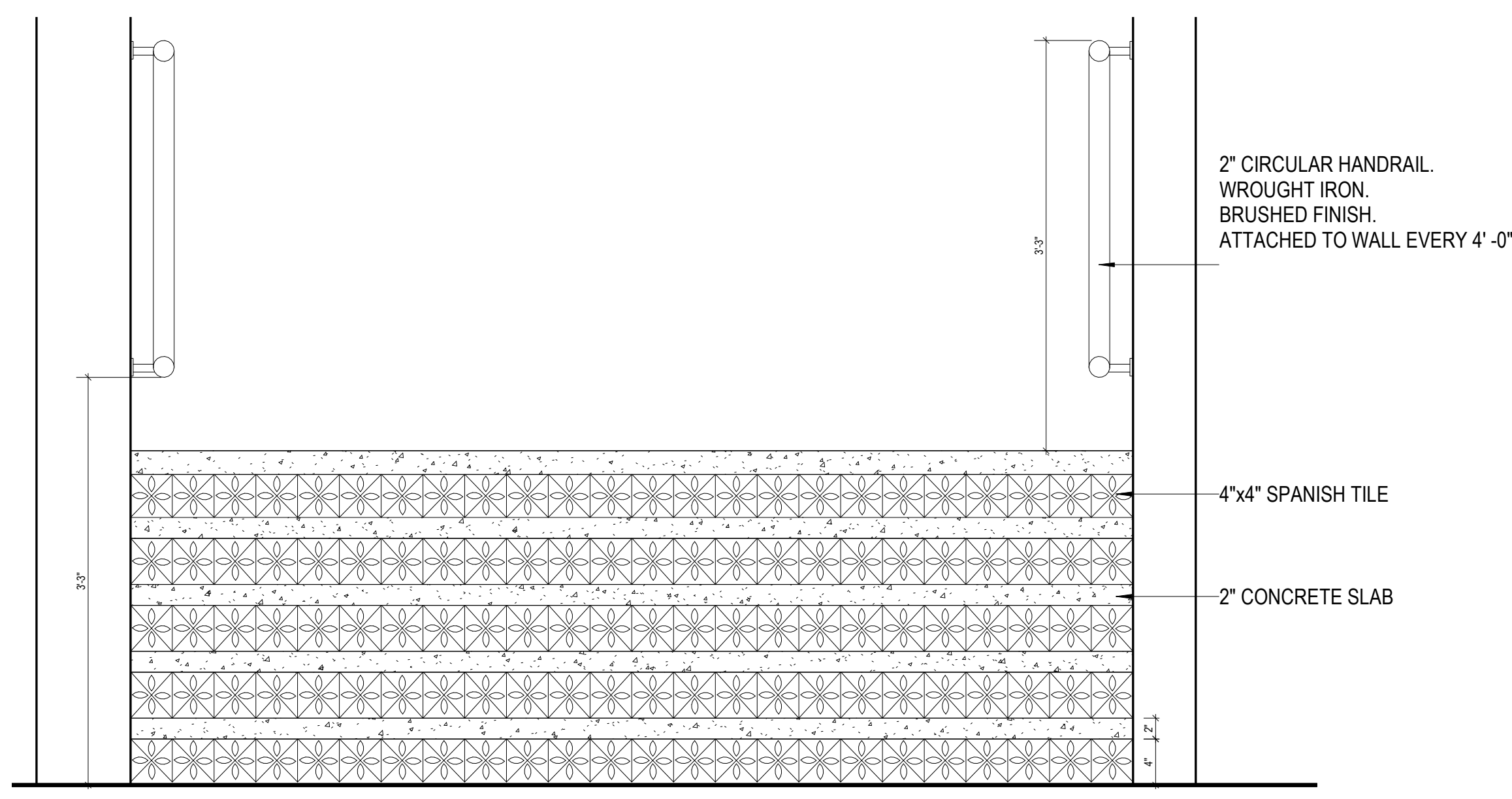
STAIR SECTION
1" = 1' - 0"

2



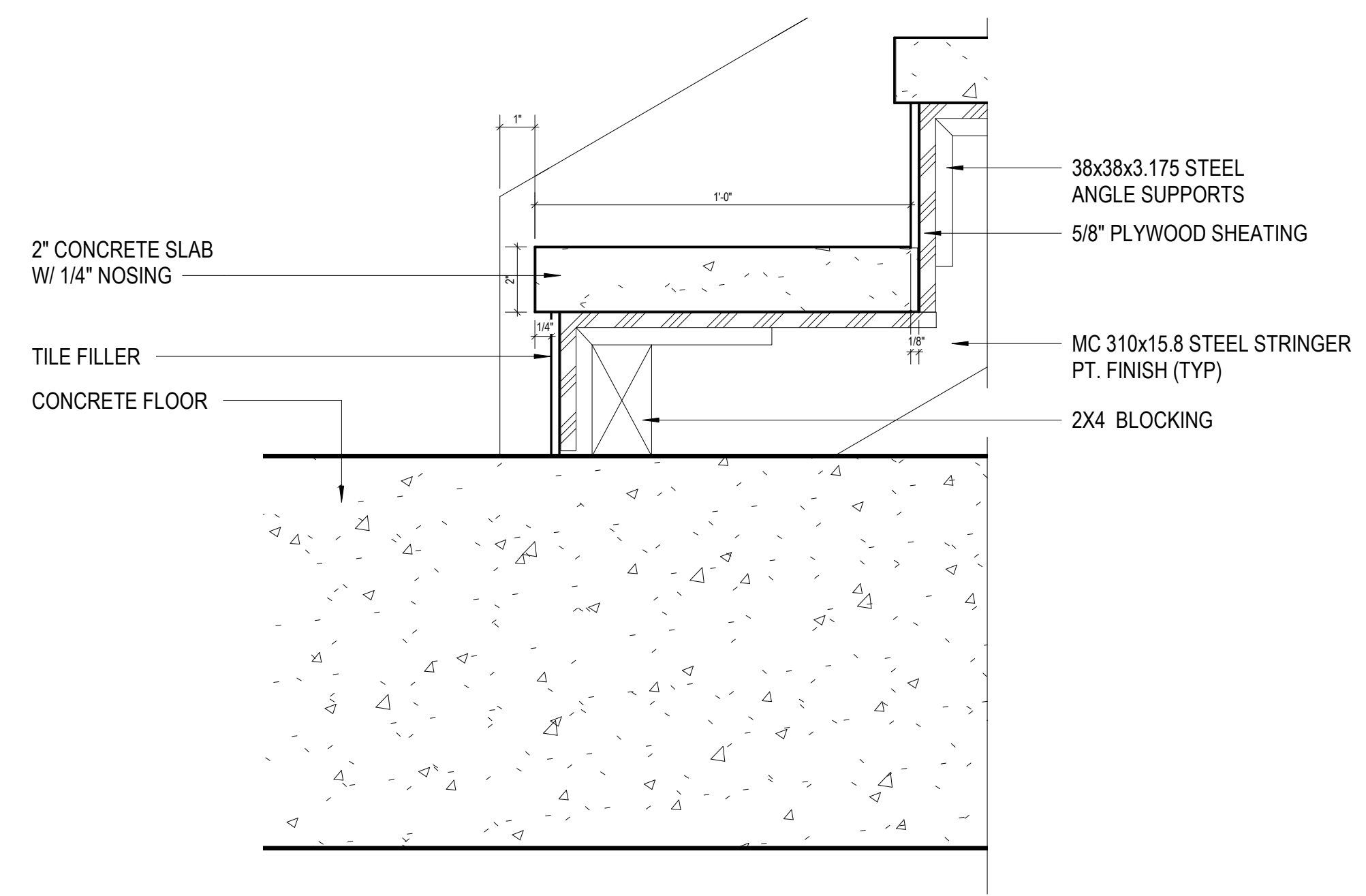
RAILING SECTION
1" = 1' - 0"

3



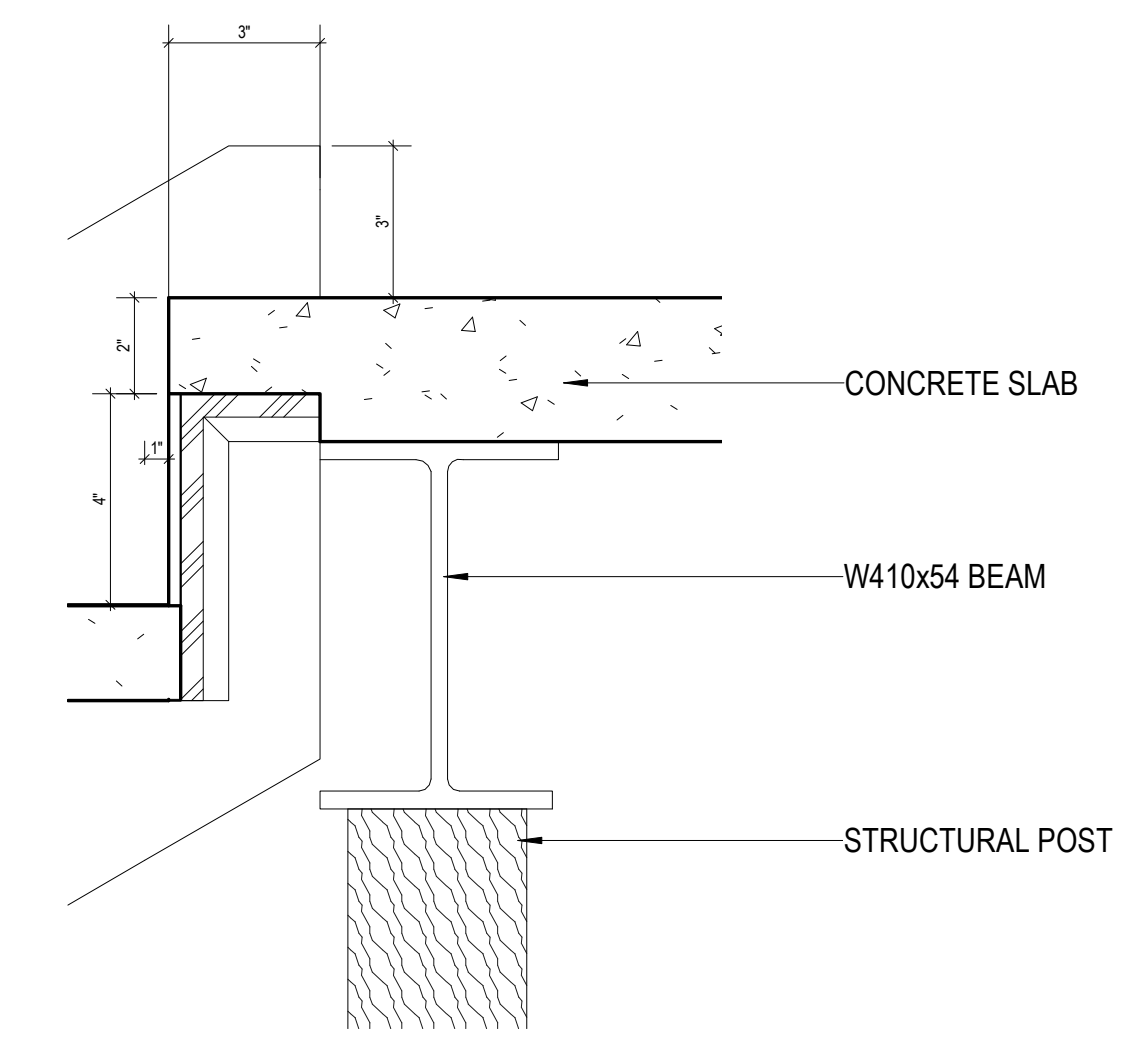
STAIR ELEVATION
1" = 1' - 0"

4



STAIR DETAIL
3" = 1' - 0"

5



STAIR DETAIL
3" = 1' - 0"

6

PROJECT SPECIFIC DETAILS

PROPOSED REMODEL OF JOY'S CAFE TO:
HAUS- HOTEL AND SPA

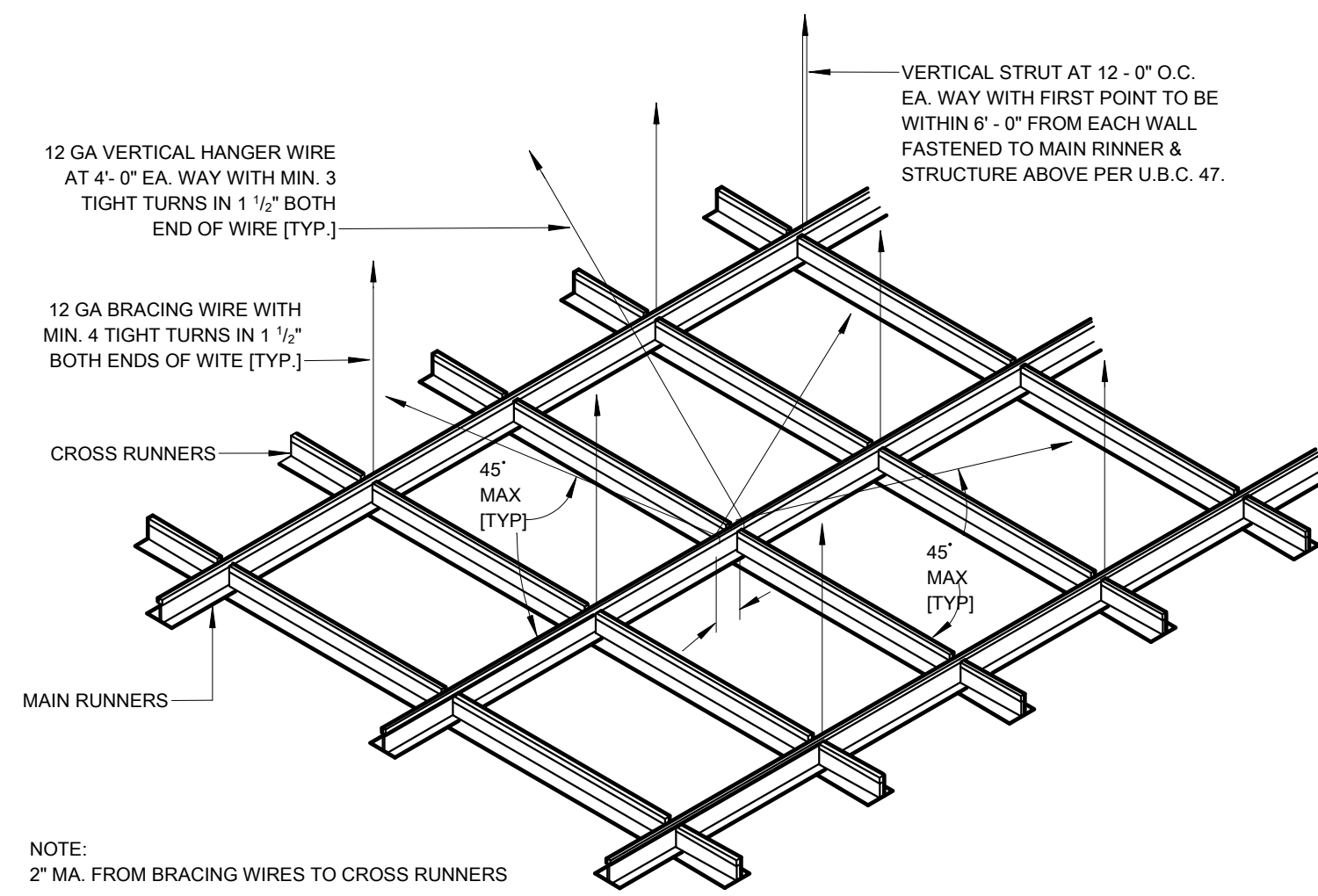
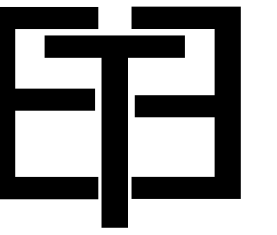
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: N.T.S.

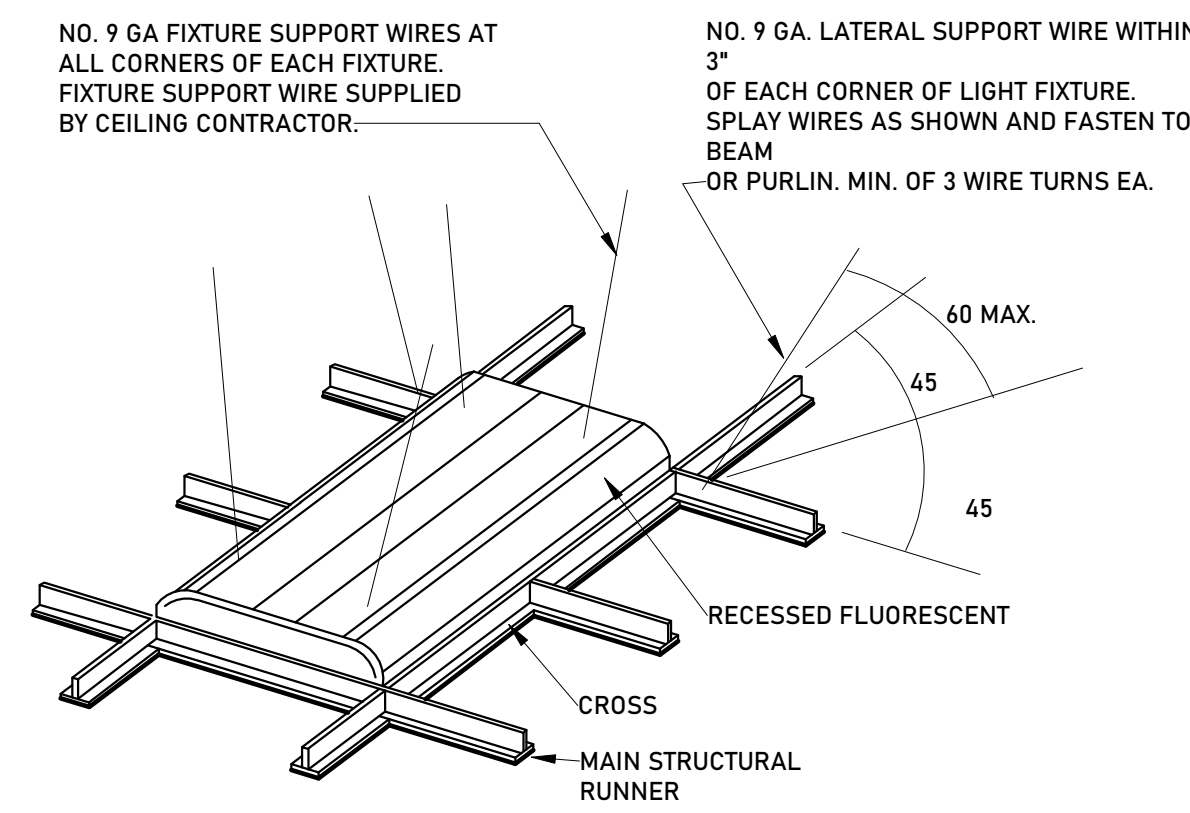
DATE: 9.3.2019

SHEET #:

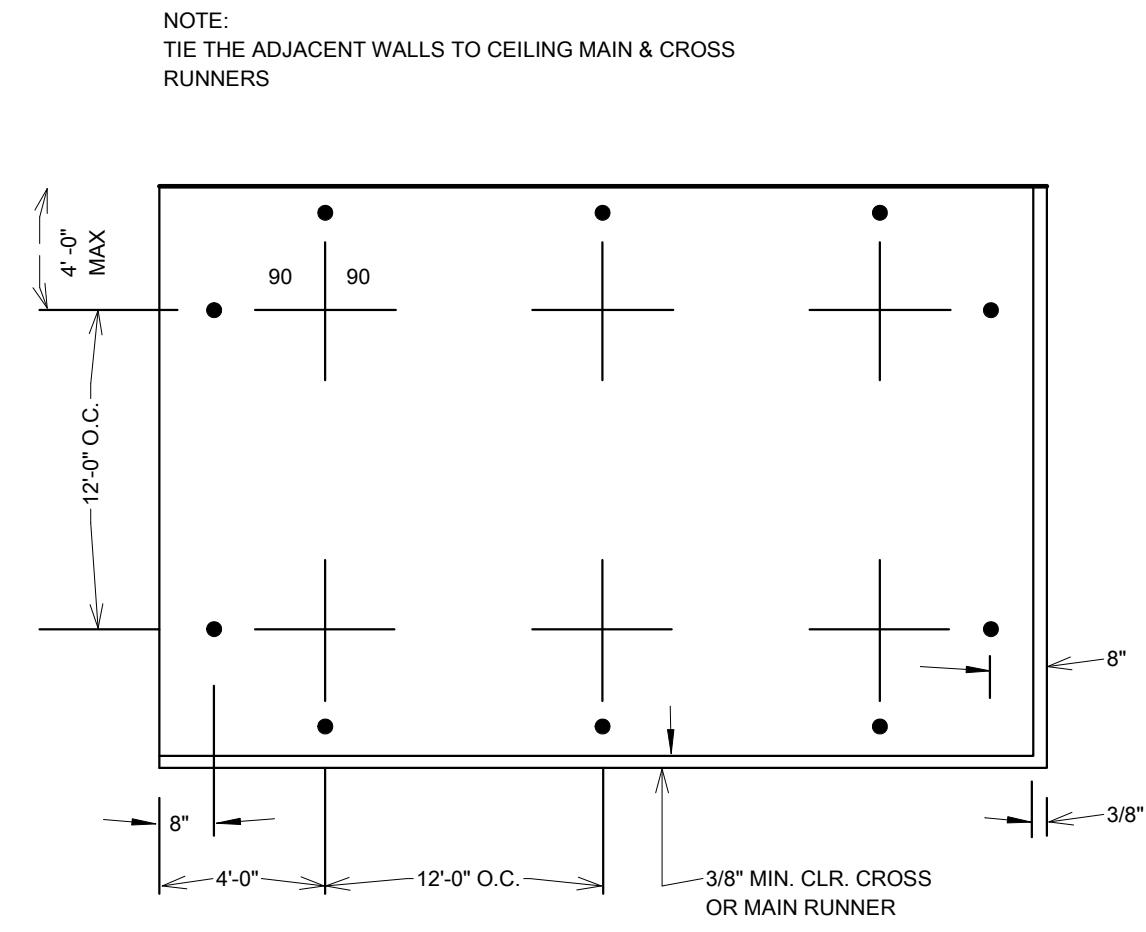
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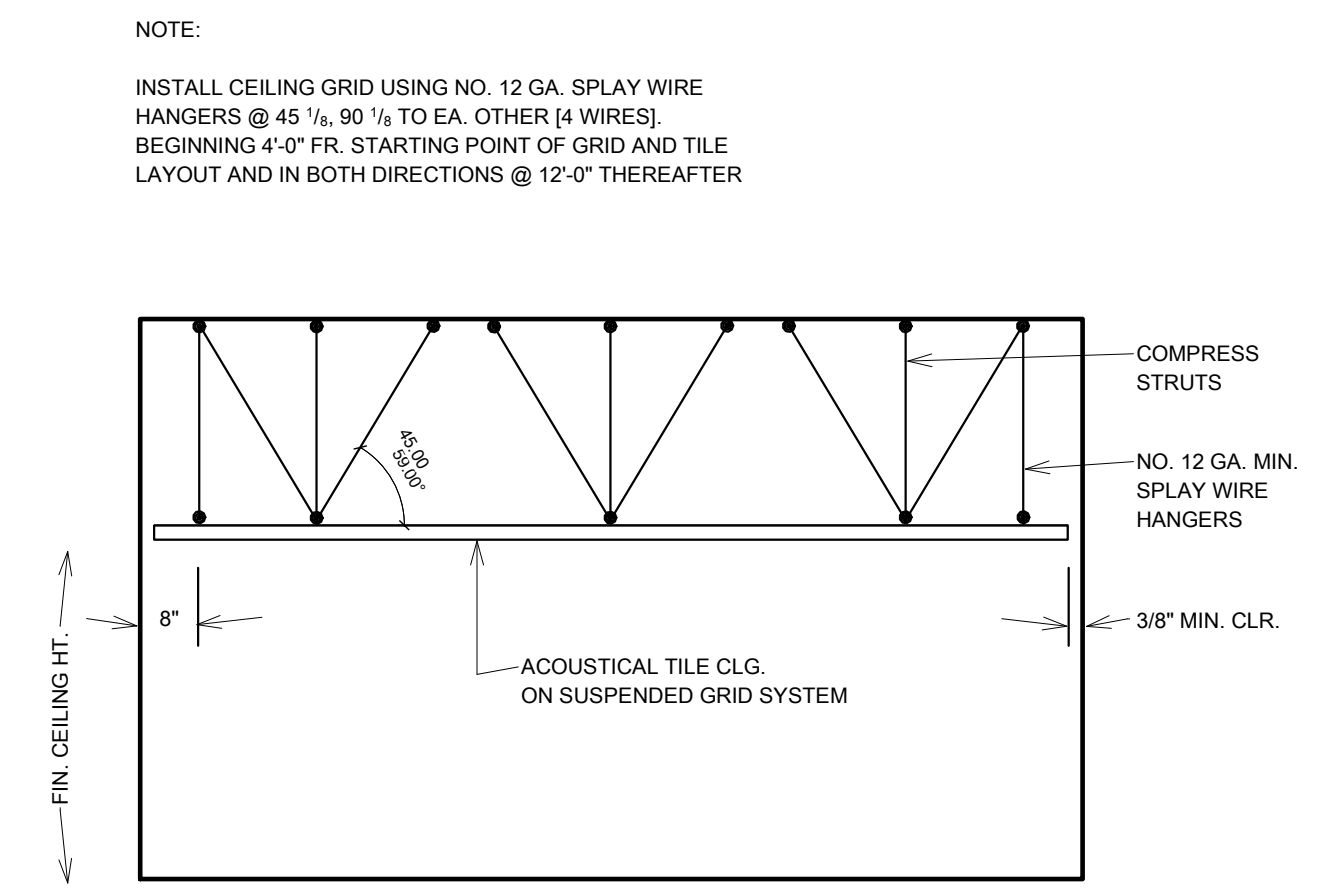
1 GRID ATTACHMENT
1/2" = 1'-0"



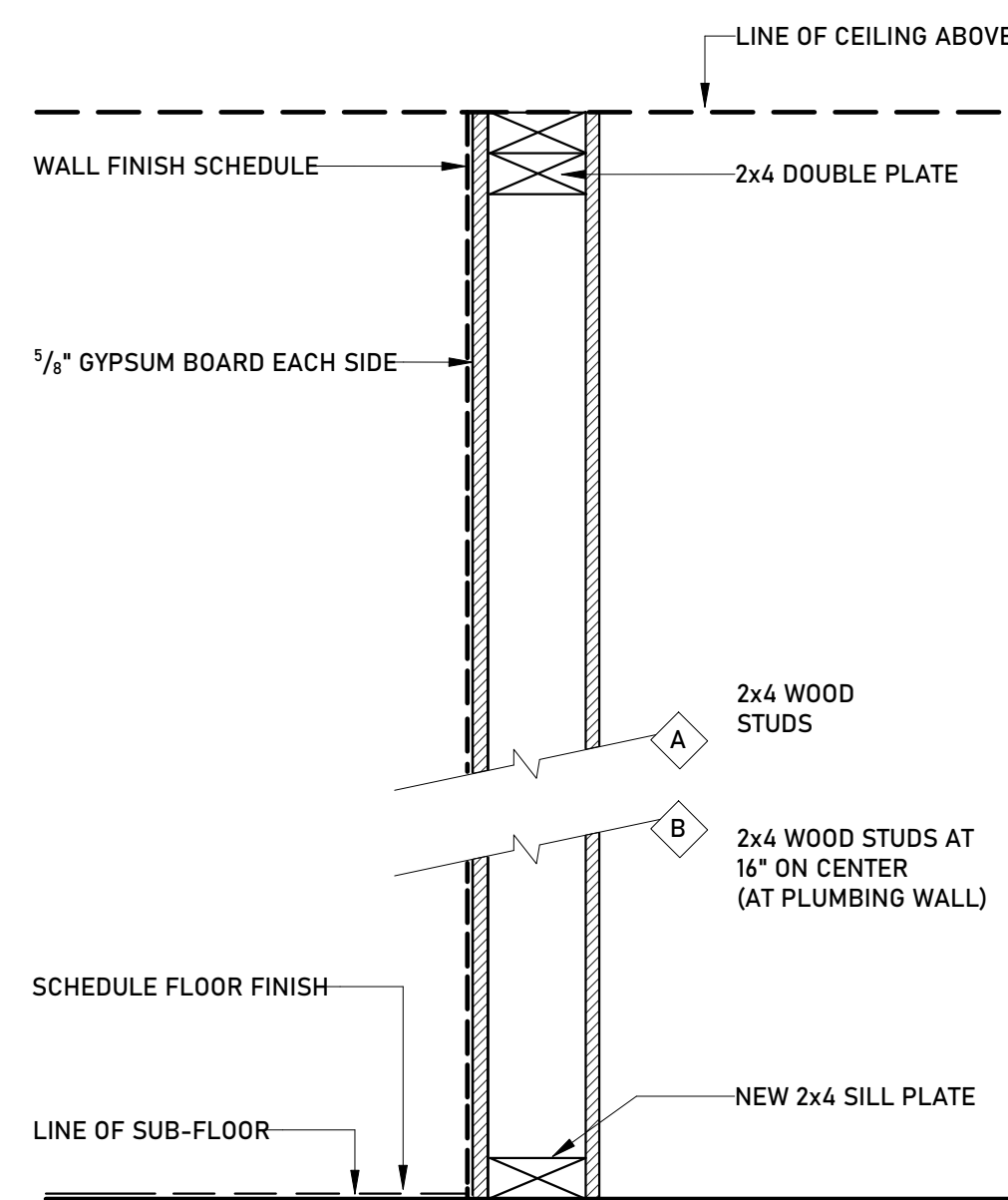
2 LIGHT SUSPENSION MODEL
3/8" = 1'-0"



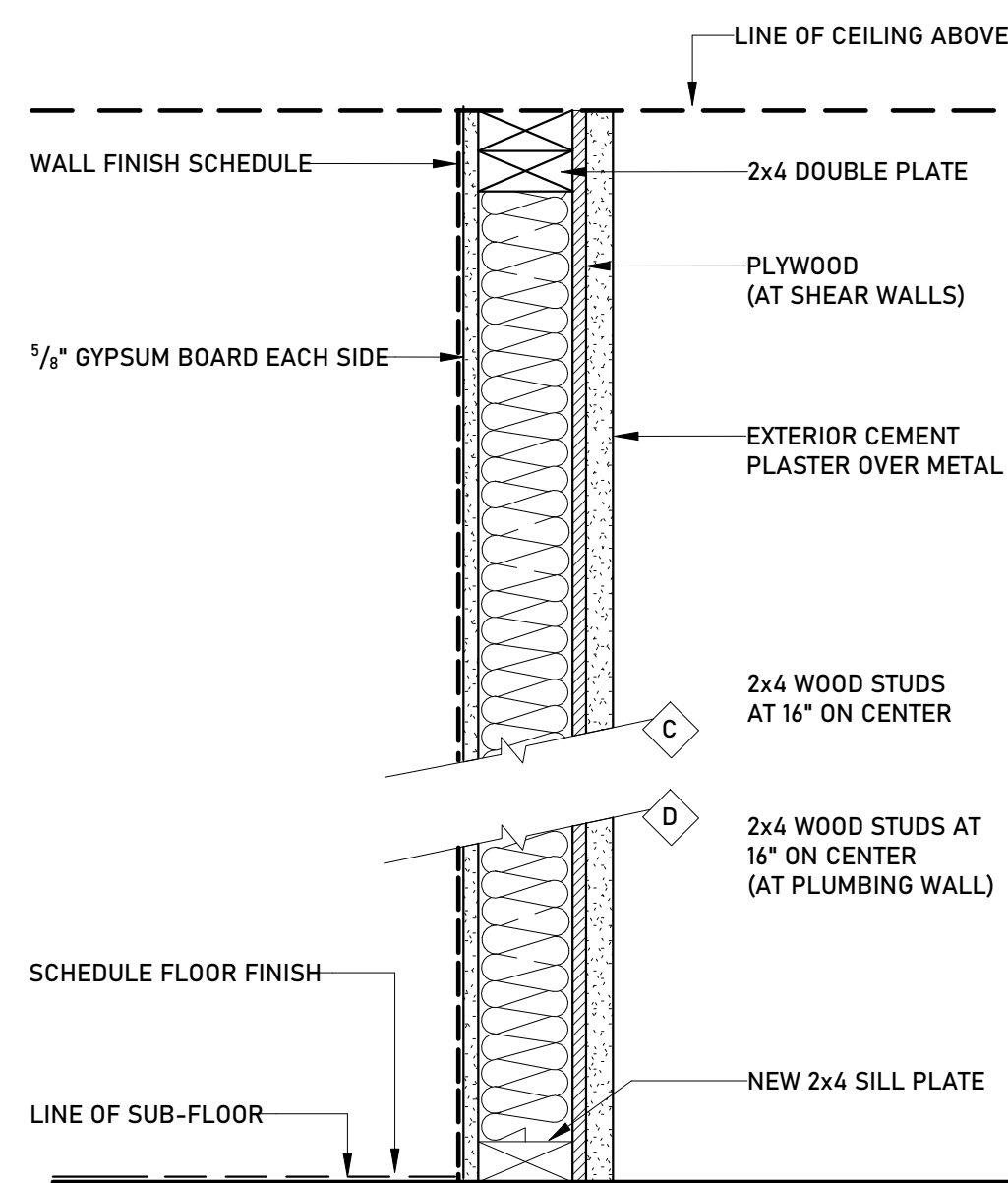
3 BRACING PLAN DIAGRAM
3/8" = 1'-0"



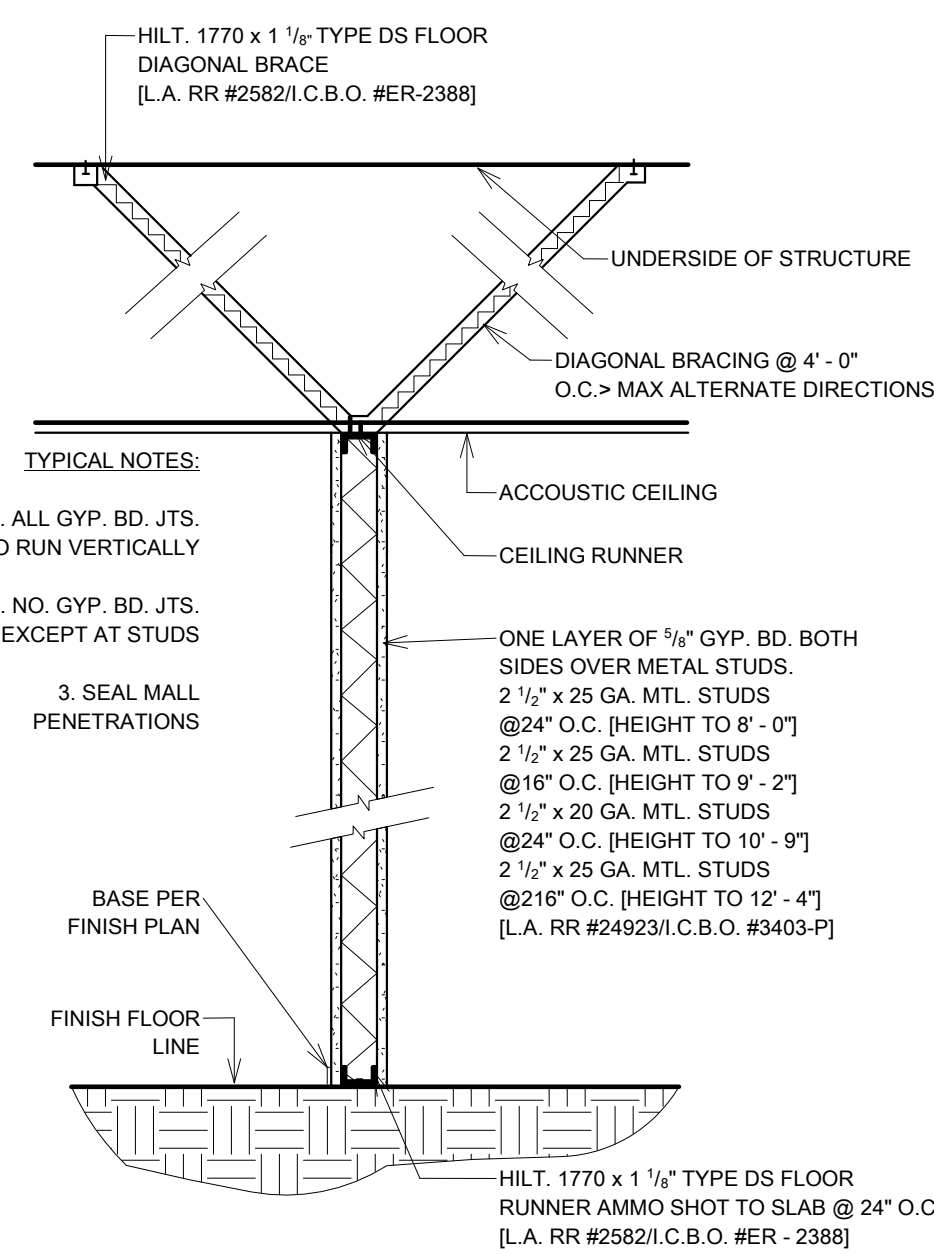
4 BRACING SECTION
1 1/2" = 1'-0"



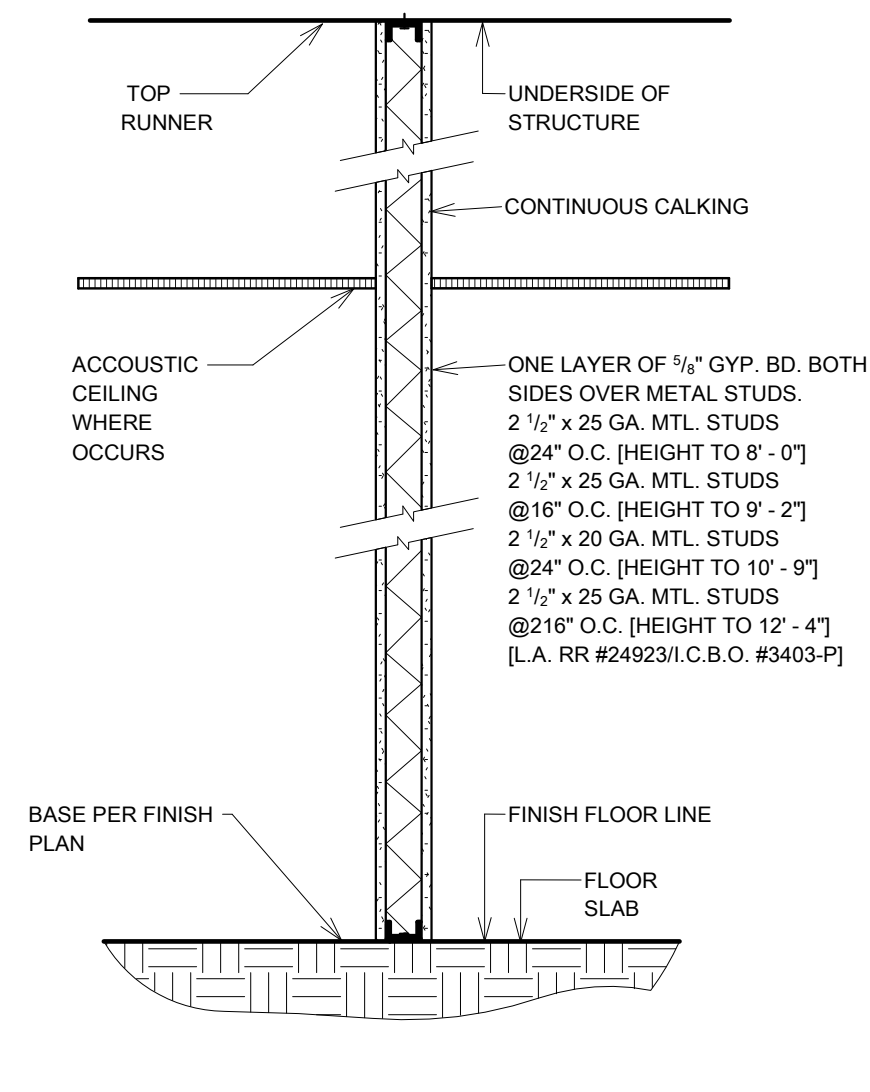
5 PLUMBING WALL
1 : 7



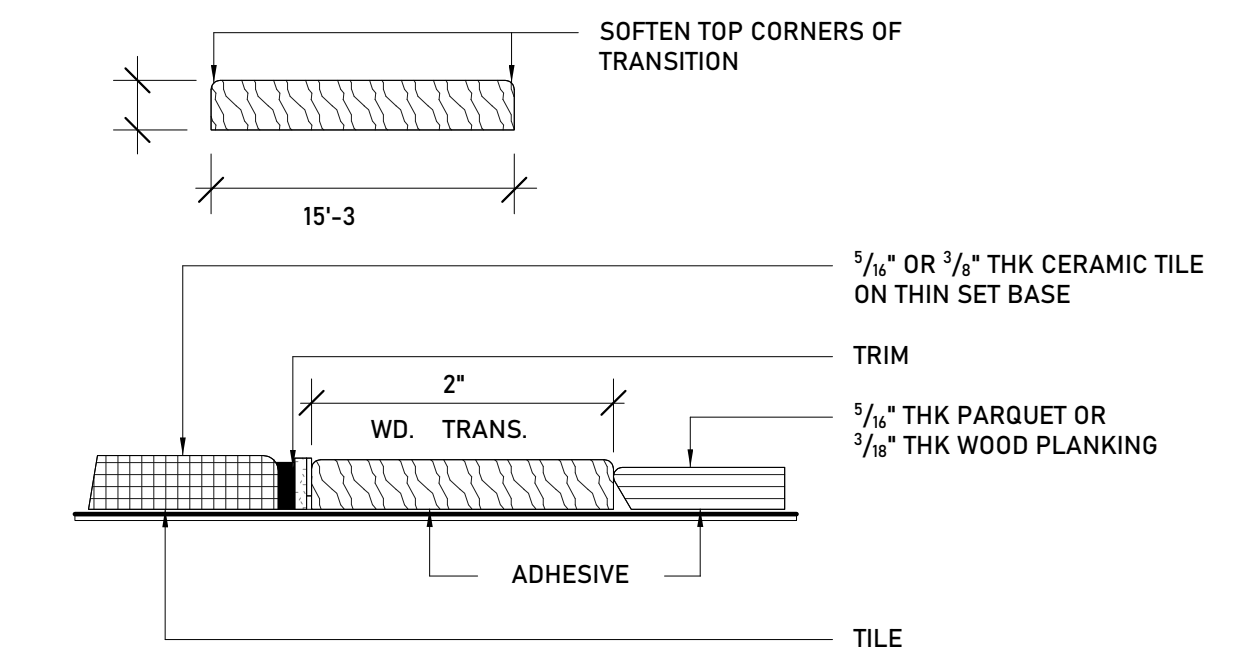
6 ACOUSTIC PARTION
1 : 7



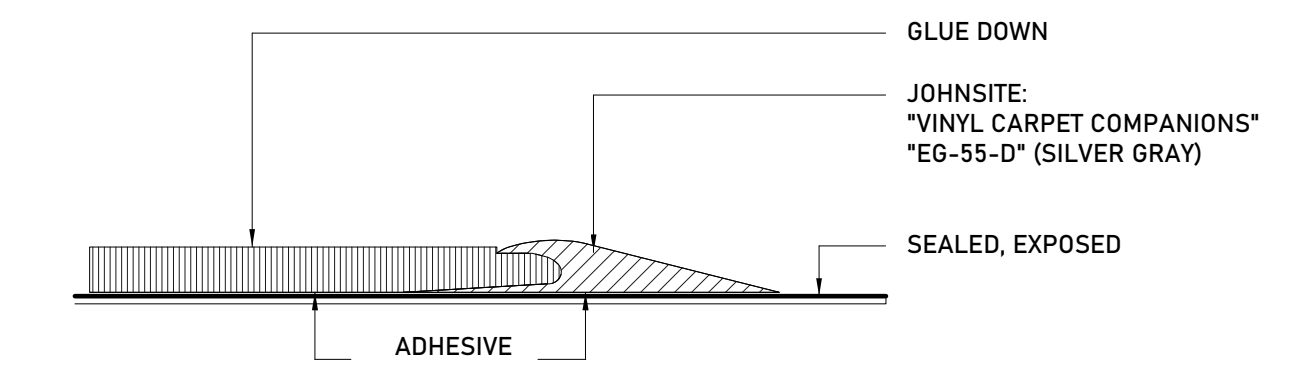
7 NON BEARING PARTITION
1" = 1'-0"



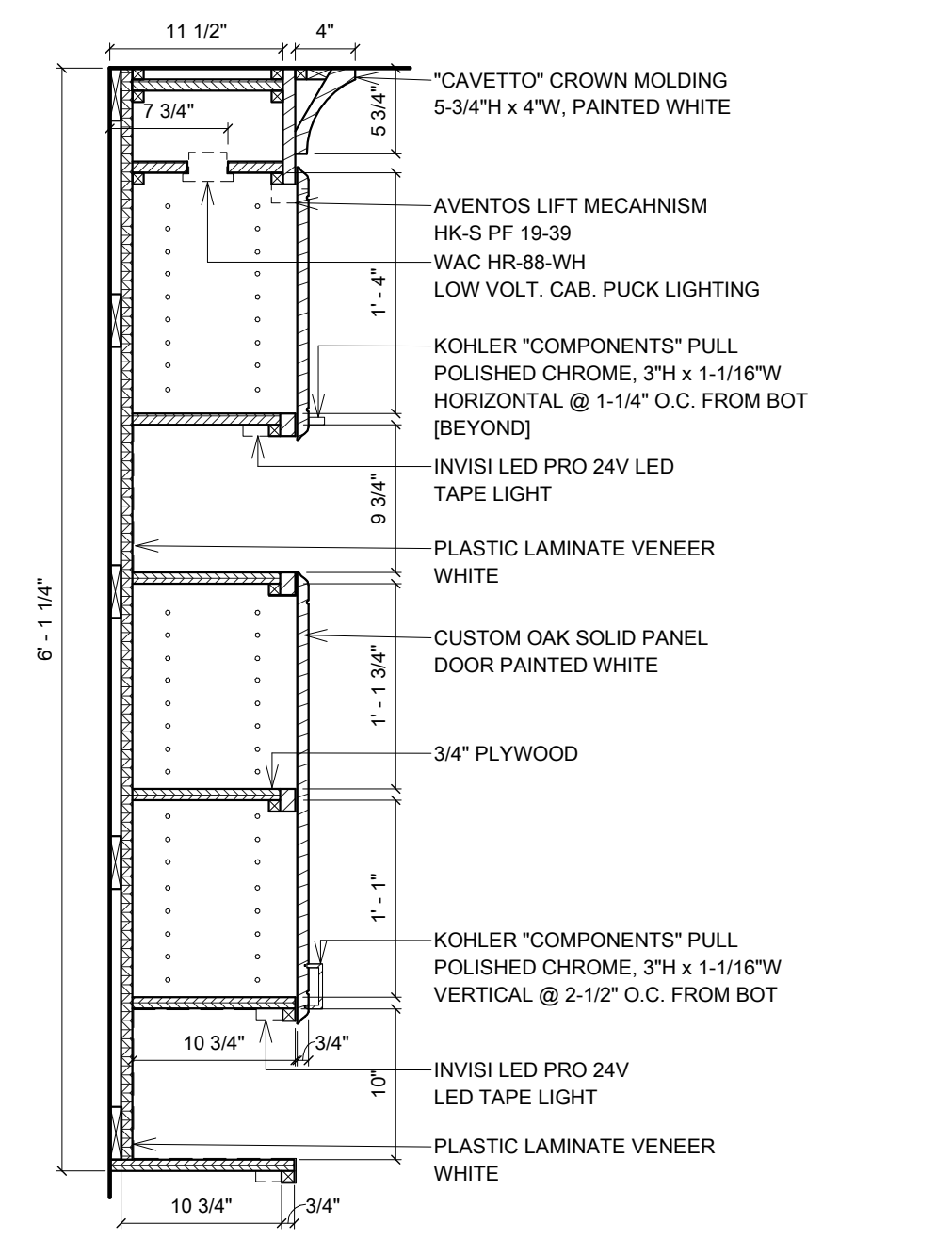
8 1 HOUR RATED PARTITION
1" = 1'-0"



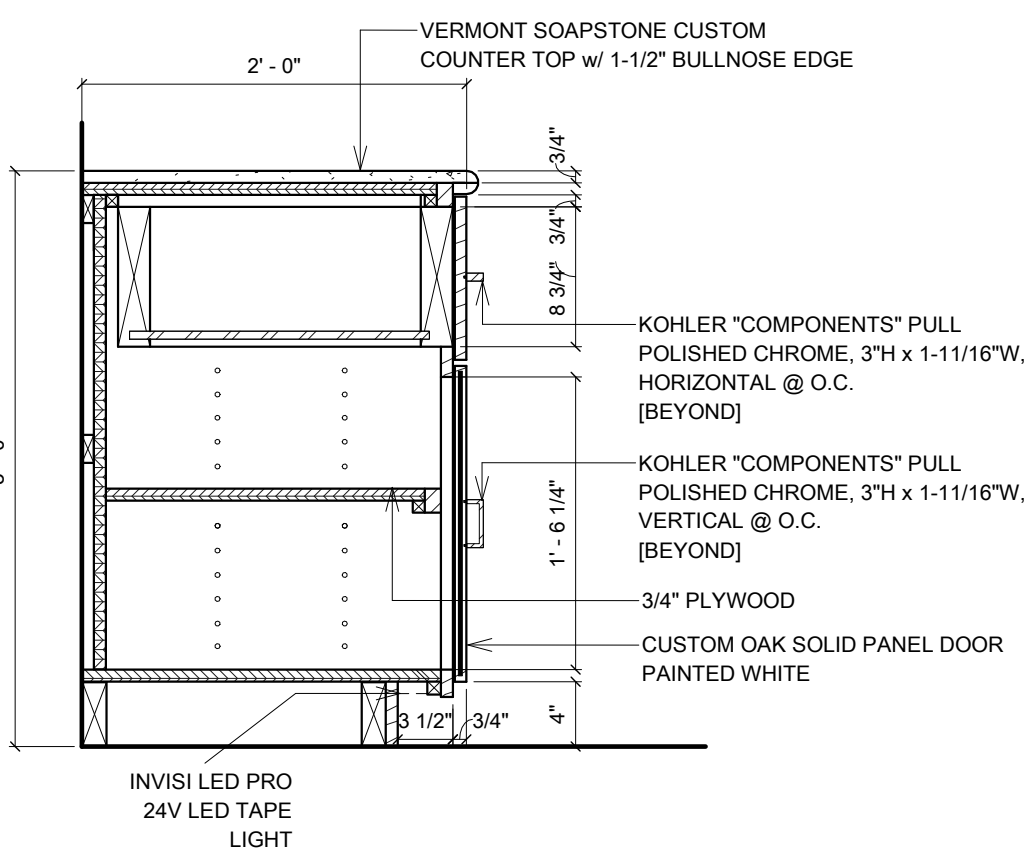
13 FT CERAMIC TILE
3" = 1'-0"



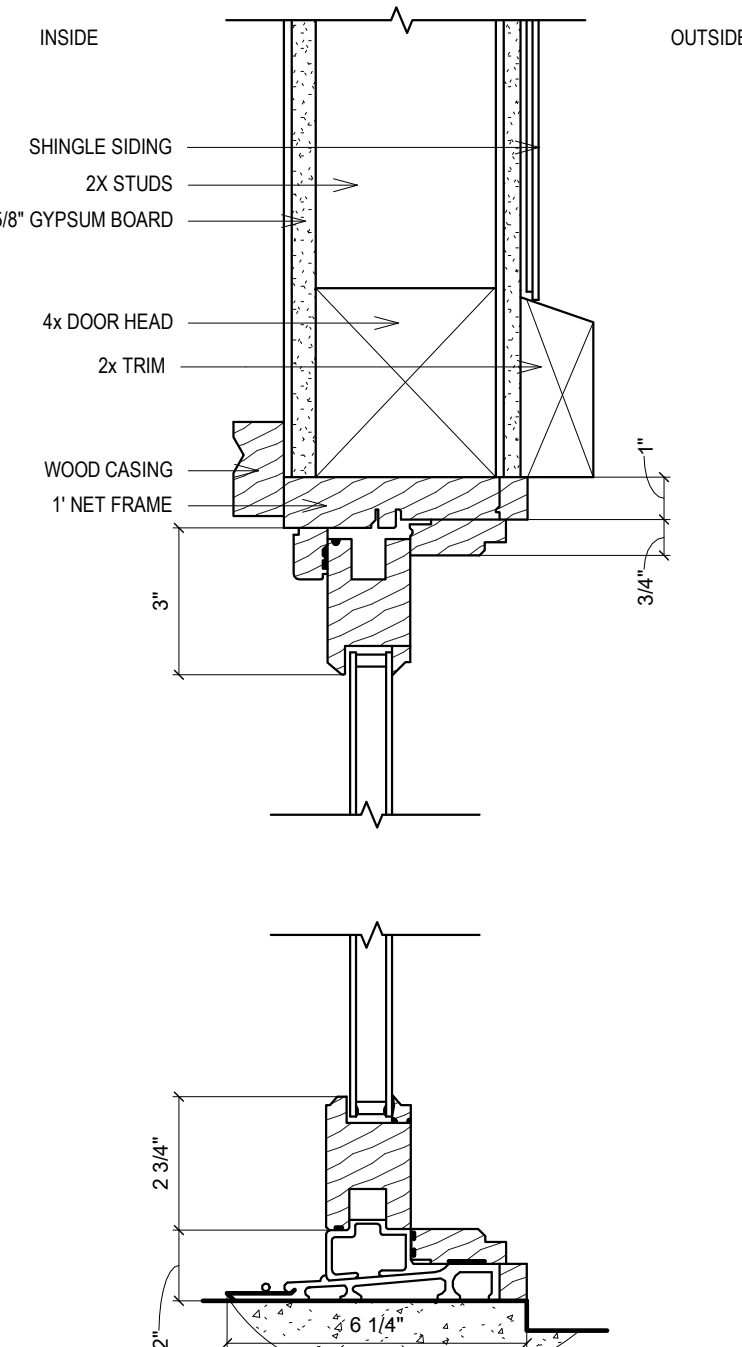
14 FT CARPET/EXPOSED
3" = 1'-0"



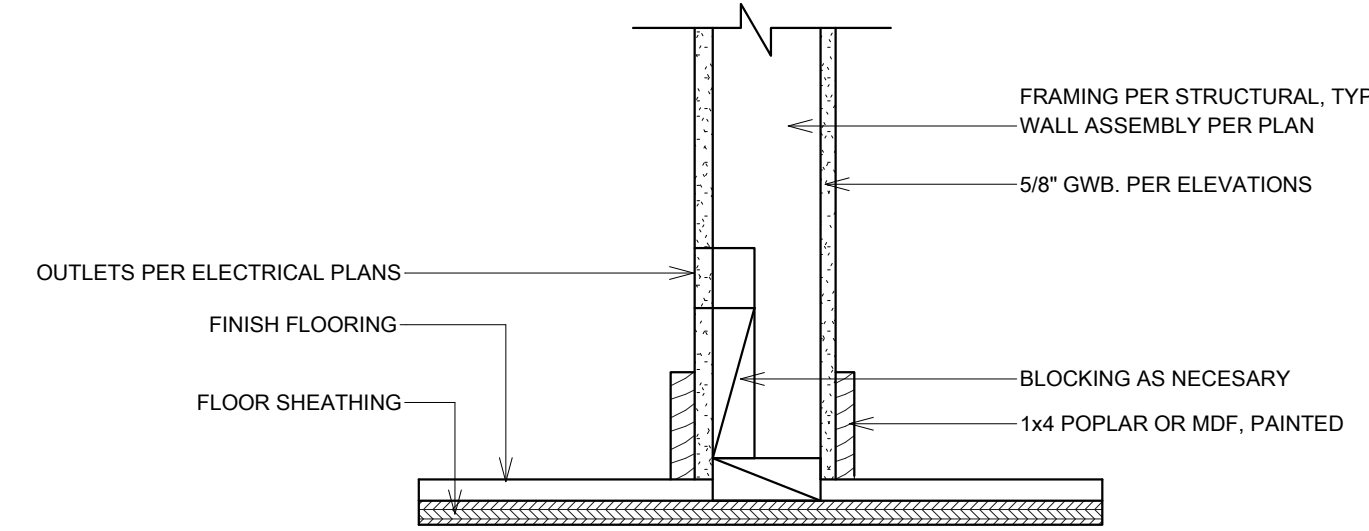
9 UPPER CABINET SECTION
1" = 1'-0"



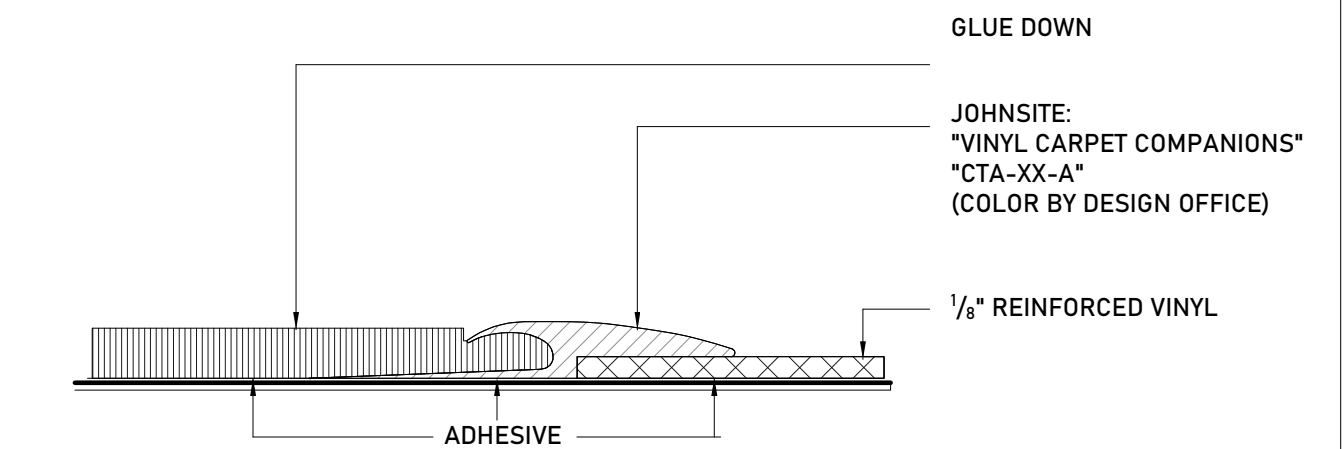
10 LOWER CABINET SECTION
1" = 1'-0"



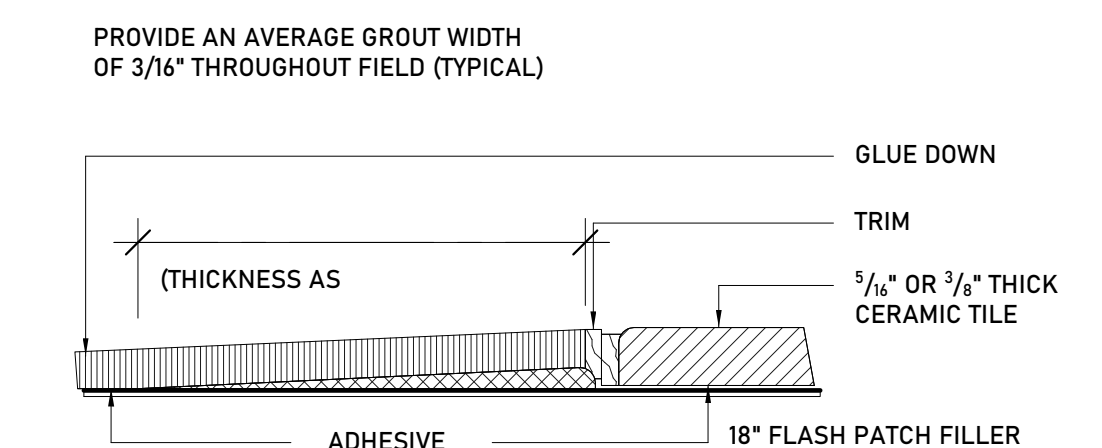
11 DOOR HEAD JAMB
3" = 1'-0"



12 BASEBOARD DETAIL
3" = 1'-0"



15 FT CARPET/VINYL
3" = 1'-0"



16 FT CERAMIC CARPET
3" = 1'-0"

STANDARD DETAILS

PROPOSED REMODEL OF JOYAS CAFE TO:
HAUS - HOTEL AND SPA

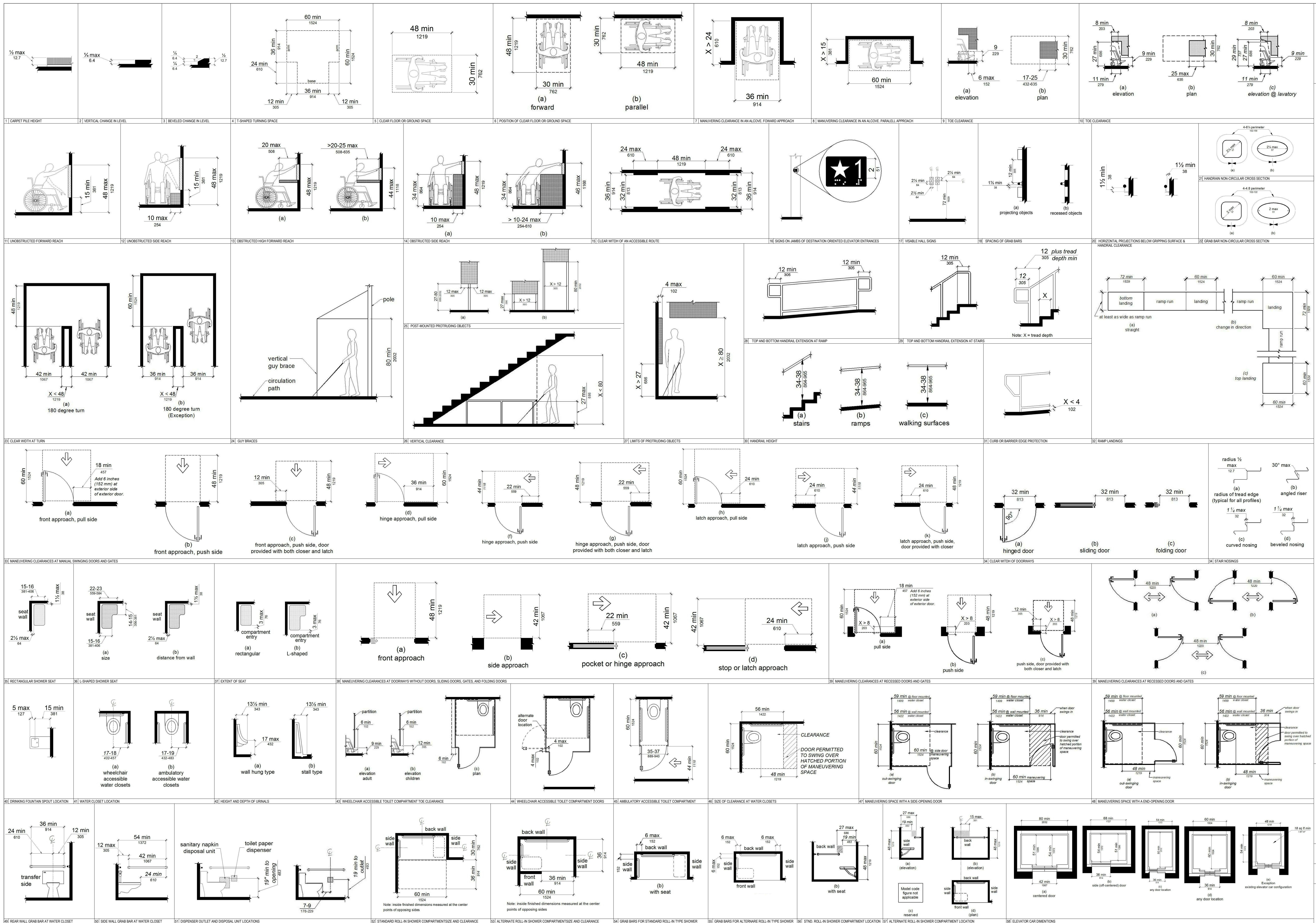
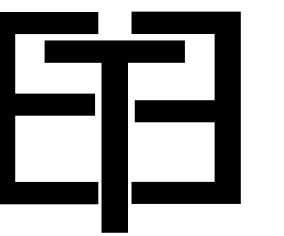
17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: N.T.S.

DATE: 9.3.2019

SHEET #:

ID-6.1



ACCESSIBILITY DETAILS

PROPOSED REMODEL OF JOY'S CAFE TO:
HAUS - HOTEL AND SPA

17575 PACIFIC COAST HWY
PACIFIC PALISADES, CA 90272

SCALE: N.T.S.

DATE: 9.3.2019

SHEET #: ID-6.2